

City Council Memorandum

To: Mayor Fasbender and City Council

From: John Hinzman, Community Development Director

Date: June 17, 2024

Item: Resolution: Site Plan – HTG Architects (United Heroes League) – Stadium

Seating and Locker Room – 15211 Ravenna Trail

Council Action Requested:

Adopt the attached resolution granting Site Plan approval for United Heroes League (UHL) to construct stadium bleacher seating for 1,175 individuals and a 3,450 s.f. locker room building underneath the bleachers. The site is located south of the UHL's existing outdoor hockey rink located at 15211 Ravenna Trail. Approval requires a simple majority of City Council.

Background Information:

Over the last ten years, Defending the Blue Line (now UHL) has purchased property and planned for development of a recreation facilities for family members of veterans. On April 20, 2020 the Council approved an Interim Use Permit (IUP) to allow for development of an obstacle course on the site along with temporary improvements for a gravel parking lot. A new IUP was approved on August 15, 2022 to allow for an extended interim use period. The IUP requires installation of landscaping, permanent restroom, and waste enclosure structures by May 11, 2025.

Financial Impact:

Future commercial development of the site will increase tourism spending in Hastings.

Advisory Commission Discussion:

The Planning Commission voted 5-0 to recommend approval of the Site Plan at the June 10, 2024 meeting with limited discussion.

Attachments:

- Resolution Site Plan Approval
- Planning Commission Staff Report May 13, 2024

HASTINGS CITY COUNCIL

RESOLUTION NO

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HASTINGS GRANTING SITE PLAN APPROVAL FOR CONSTRUCTION OF STADIUM SEATING AND A LOCKER ROOM AT 15211 RAVENNA TRAIL FOR UNITED HEROES LEAGUE ON PROPERTY OWNED BY DEFENDING THE BLUE LINE

Councilmember	introduced the	following	Resolution
and moved its adoption:			

WHEREAS, Marshall Andrews of HTG Architects has applied for Site Plan approval to construct stadium seating holding approximately 1,175 individuals and a +/-3,450 s.f. locker room facility on property owned by Defending the Blue Line. The facility is operated by United Heroes League and generally located at 15211 Ravenna Trail (PIN 19-035500-14-020) and legally described on Attachment A; and

WHEREAS, on June 10, 2024 the Hastings Planning Commission held reviewed the request and recommended approval of the action as presented; and

WHEREAS, the City Council reviewed the request and concurs with the recommendation of the Planning Commission.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HASTINGS AS FOLLOWS:

That the City Council hereby approves the Site Plan as presented to the City Council subject to the following conditions:

- 1. Conformance with the plans submitted with the City Council Staff Report dated June 17, 2024.
- 2. Reconfiguration of the rear property line to maintain a minimum 20-foot setback for the stadium seating and locker rooms.
- 3. Final approval of the Grading, Drainage, Erosion Control, and Utility Plans by the Public Works Director.

- 4. All disturbed areas on the property shall be stabilized with rooting vegetative cover to eliminate erosion control problems.
- 5. Disturbed areas of the site shall be maintained to the requirements of the City's property maintenance ordinance.
- 6. Any uncompleted site work (including landscaping) must be escrowed at 125 percent of the estimated value prior to issuance of a certificate of occupancy.
- 7. All lighting shall incorporate shields and cut-offs to direct light on the site.
- 8. Landscape planter schematics, material type, colors, and planted items must be approved prior to issuance of a Building Permit.
- 9. Equipment screening fence schematics, material type, and color must be approved prior to the building permit
- 10. The photometric plan must ensure foot candle illumintion for the hockey rink and and parking lot does not exceed 0.5 foot candles at the property line.
- 11. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.

Council member	moved a second to this resolution and upon
being put to a vote adopted by those present	
Adopted by the Hastings City Council on Ju	ne 17, 2024, by the following vote:
Ayes:	
Nays:	
Absent:	
ATTEST:	
	Mary Fasbender, Mayor
Kelly Murtaugh,	
12011 111011111111111111111111111111111	

City Clerk

STATE OF MINNESOTA)	`		City of Hastings
COUNTY OF DAKOTA))	SS.	
I, the undersigned, being the Hastings, Minnesota, DO HEREBY copy of the Reso same is a full, true and complete	CERTI lution v py there	FY, that with the of.	I have carefull original on fil	y compared the attached le in my office and the
Hastings this day of		, 20	<u>.</u>	
		Kelly	Murtaugh, City	/ Clerk

SEAL STICKER

Attachment A Legal Description PIN 19-03500-14-020

That part of the West half of the Northeast Quarter of Section 35, Township 115 North, Range 17 West lying south of CSAH No. 54 and east of County Road No. 91; except the south 1,072 feet lying west of the east 275.35 feet; AND

Except that part lying westerly of a line commencing at the intersection of the centerline of CSAH No. 54 and the centerline of County Road 91; thence South 79 degrees, 02 minutes, 08 seconds East on the centerline of CSAH No. 54 a distance of 846 feet to the point of beginning of the line to be described; thence South 10 degrees, 57 minutes, 52 seconds West a distance of 501.37 feet; thence North 79 degrees, 02 minutes, 08 seconds West a distance of 145.11 feet; thence South 10 degrees, 57 minutes, 52 seconds West a distance of 225.32 feet to the north line of the south 1,072 feet of said West Half of the Northeast Quarter, thence terminating; AND

Except the south 200 feet of the east 275.34 feet of said West Half of the Northeast Quarter.

Subject to CSAH No. 54.



Planning Commission Memorandum

To: Planning Commissioners

From: John Hinzman, Community Development Director

Date: June 10, 2024

Item: United Heroes League (HTG Architects) – Site Plan 2024-24 – Stadium Seats and Locker

Room - 15211 Ravenna Trail

Planning Commission Action Requested

Review and provide a recommendation on the Site Plan application of HTG Architects on behalf of United Heroes League (UHL) to construct stadium seating and locker room facilities at an existing outdoor hockey rink located at 15211 Ravenna Trail. The 13.84-acre parcel is owned by Defending the Blue Line (Shane Hudella) and is part of a 52.86-acre campus owned by Defending the Line and UHL.

BACKGROUND INFORMATION

Comprehensive Plan

The property is currently guided Agriculture within the 2040 Comprehensive Plan. The Agriculture designation is given to properties that are located outside of the Metropolitan Urban Service Area (MUSA) Boundary where municipal sewer and water facilities are not available. The subject property is outside of the MUSA Boundary.

Zoning

The property is currently zoned Agriculture. Recreation facilities, including, but not limited to golf courses, pistol and rifle ranges, sportsmen clubs and camping area are identified as "Uses Permitted within the Agriculture District.

History

Over the last ten years, Defending the Blue Line (now UHL) has purchased property and planned for development of a recreation facilities for family members of veterans. On April 20, 2020 the Council approved an Interim Use Permit (IUP) to allow for development of an obstacle course on the site along with temporary improvements for a gravel parking lot. A new IUP was approved on August 15, 2022 to allow for an extended interim use period. The IUP requires installation of landscaping, permanent restroom, and waste enclosure structures by May 11, 2025.

Existing Condition

The site presently contains a parking lot containing 336 spaces, refrigerated outdoor hockey rink, and confidence coarse. The northern portion of the site is relatively treeless with little topographic relief. The southern portion includes a wooded hillside that rises over 100 feet. Proposed improvements are adjacent to the outdoor rink which has been previously graded.

Future Plans

A primary building housing offices, warehouse, and indoor athletic spaces is planned north of the hockey rink site. The site will host Hockey Day Minnesota in cooperation with the Minnesota Wild and Bally Sports North in January 2026.

Adjacent Zoning and Land Use

The following land uses abut the property:

Direction	Use	Comp Plan District	Zoning District
North	Ravenna Trail		
	Future Wastewater Treatment Plant	Agriculture	A - Agriculture
East	Home – Shane Hudella	Agriculture	A - Agriculture
South	Rural Residential and Open Space	Agriculture	A - Agriculture
West	Former Extreme Sandbox (now owned by UHL)	Agriculture	A - Agriculture

SITE PLAN REVIEW

Request

Construction of stadium bleacher seating for 1,175 individuals and a 3,450 s.f. locker room building located under the bleacher seating.

Vehicular Access and Circulation

The site is accessed through the existing parking lot to a singular access to Ravenna Trail. Intersection improvements along Ravenna Trail are being evaluated by Dakota County. Improvements may include a turn lane to the site.

Building Setbacks

A portion of the site does not meet the 20-foot rear yard setback requirement of the Ag Zoning District. The applicant has agreed to reconfigure the property boundary to achieve the minimum setback requirement. Setbacks to remaining property lines exceed 100 feet.

Parking

The number of parking spaces is acceptable as follows:

Use	Required Spaces	Provided Spaces
Recreation – Participant Spectator	294 (1 per 4 seats)	336

Architectural Elevations

The locker room is located underneath the stadium with only the sides and rear visible. Exterior materials are primarilly a decorative concrete tip up panel.

Landscape Plan

Landscape planters are proposed in conjunction with the improvements. The applicant must provide the schematics, material type, colors, and what will be planted as a condition of approval. Landscaping for the existing parking lot is required to be installed by May 11, 2025.

Equipment Screening Fence

Schematics, material type, and color of the proposed equipment screening fence must be approved prior to the building permit.

Private Utilities

Municipal sewer and water service is an available at the site. Potential construction of Metropolitan Council's Waste Water Treatment Plant would bring utilities to the site. The site will utilize a private well and septic system.

Lighting Plan

A Photometric Plan has been submitted for both the parking lot and hockey rink. The parking lot adheres to the 0.5 footcandle illumination limit at the property line. The hockey rink lighting exceeds maximum candle illumnation at the property line and must be modified to not exceed 0.5 foot candles.

Grading, Drainage, Erosion Control and Utility Plan Review

The Public Works Department is providing concurrent review of the Grading, Drainage, Erosion Control, and Utility Plans. Site Plan approval shall be conditioned upon final approval of the Grading, Drainage, Erosion Control and Utility Plan by the Public Works Director.

Hockey Day Minnesota 2026

The site will host Hockey Day Minnesota in January, 2026. City staff continues to work with UHL to plan for the additional increase of individuals and impacts for the event.

RECOMMENDATION

Approval of the Site Plan is recommended subject to the following conditions:

- 1. Conformance with the plans submitted with the Planning Commission Staff Report dated June 10, 2024.
- 2. Reconfiguration of the rear property line to maintain a minimum 20-foot setback for the stadium seating and locker rooms.
- 3. Final approval of the Grading, Drainage, Erosion Control, and Utility Plans by the Public Works Director.
- 4. All disturbed areas on the property shall be stabilized with rooting vegetative cover to eliminate erosion control problems.
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- 11. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.

ATTACHMENTS

- Site Location Map
- Site Pictures
- Site Plan
- Civil Plans
- Architectural Elevations
- Application

LOCATION MAP





UNITED HEROES LEAGUE NEW CONSTRUCTION

HASTINGS. MN

OWNER:

UNITED HEROES LEAGUE
15211 RAVENNA TRAIL
HASTINGS, MN 55033
tel.: (651) 318-0737
CONTACT: SHANE HUDELLA
EMAIL: shaneh@unitedheroesleague.org

ARCHITECT:

HTG ARCHITECTS
IOIO MAINSTREET, SUITE IOO
HOPKINS, MN, 55343
tel.: (952) 278-8880
CONTACT: TOM MOORSE
EMAIL: tmoorse@htg-architects.com
CONTACT: Marshall Andrews
EMAIL: mandrews@htg-architects.com

CIVIL ENGINEER:

ANDERSON ENGINEERING OF MINNESOTA, LLC 13605 IST AVE N, SUITE 100 PLYMOUTH, MN 55441 tel.: (763) 412-4038 Contact: Jacob Dobias

R: STRUCTURAL ENGINEER:

INNOVATIVE STRUCTURAL SOLUTIONS, PA 5279 KYLER AVENUE NE. ALBERTVILLE, MINNESOTA 55301 tel.: (763) 425-9960 CONTACT: MICHAEL VAN DE RIET, P.E. EMAIL: Mvanderiet@isseng.com

CONTRACTOR:

DORAN COMPANIES
7803 GLENROY ROAD, SUITE 200
BLOOMINGTON, MN 55439-3126
tel.: (952) 641-9473
CONTACT: BRENT LINDSTROM
EMAIL: brent.lindstrom@dorancompanies.com

DRAWING INDEX

TS COVER PAGE

LI PARKING LOT LIGHTING PHOTOMETRIC

L2 ARENA LIGHTING PHOTOMETRIC

V-IOO EXISTING CONDITIONS SURVEY

CS-IOO OVERALL CONCEPT SITE PLAN

CS-IOI ENLARGED CONCEPT SITE PLAN

CG-IOO GRADING PLAN

CU-IOO UTILITY PLAN

C-50I CIVIL DETAILS

C-502 HOLDING TANK DETAILS

AO.I BUILDING PLAN & CODE INFORMATION

AI.I SITE PLAN & SITE DETAILS

A2.I FLOOR PLAN, SCHEDULES & NOTES, DOOR FRAME ELEVATIONS AND DETAILS

BLEACHER SEATING FLOOR PLAN





www.htg-architects.com

1010 Mainstreet, Suite 100 Hopkins, MN. 55343 Tel: 952.278.8880

PROJECT

UNITED HEROES LEAGUE STADIA & LOCKER ROOMS



ISSUED SET	
REVISIONS	
DATE N0. 04.09.2024	CONCEPT PLAN REVIEW
05.21.2024	DRC REVIEW

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE

-REG. NO. DATE

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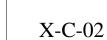
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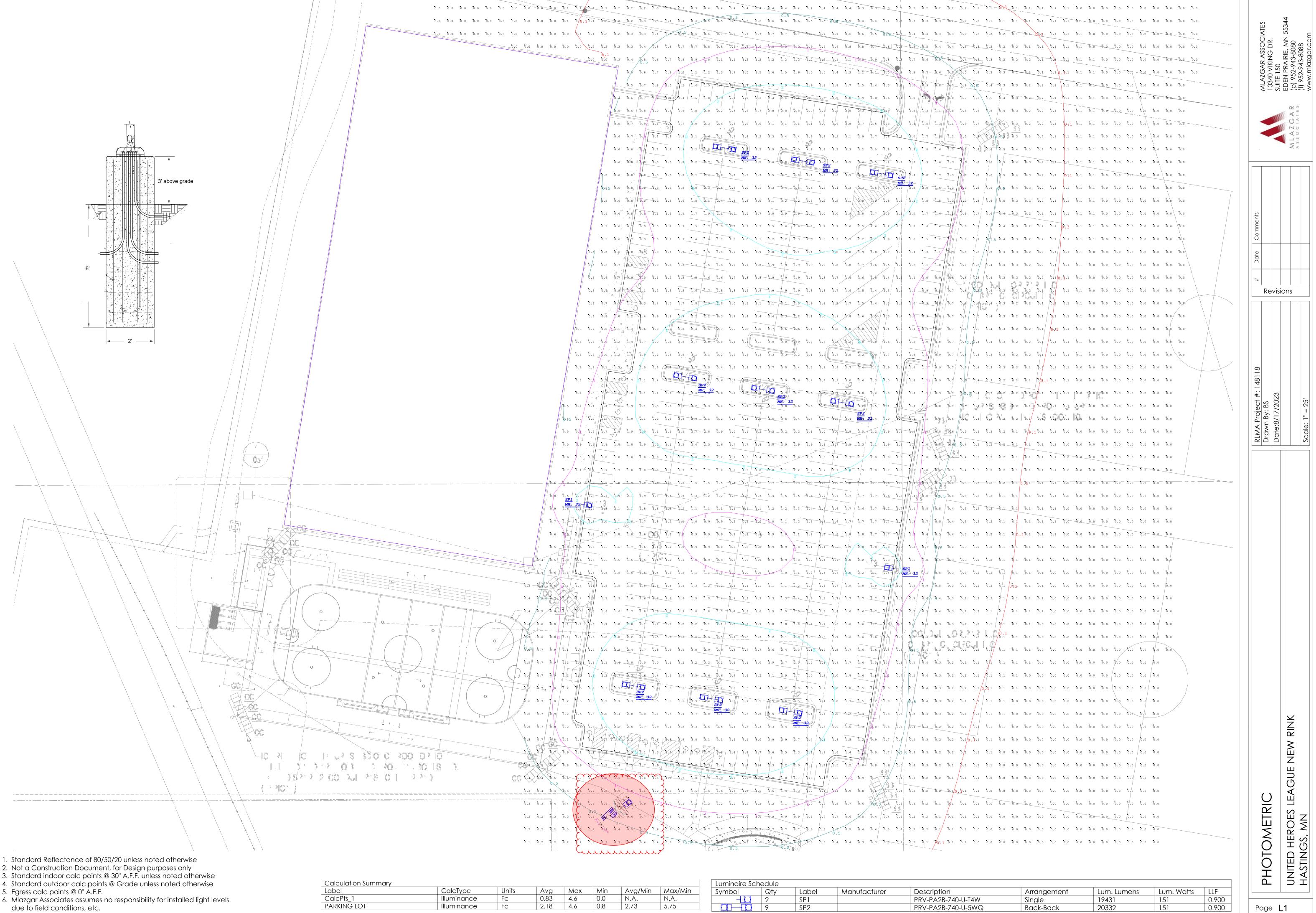
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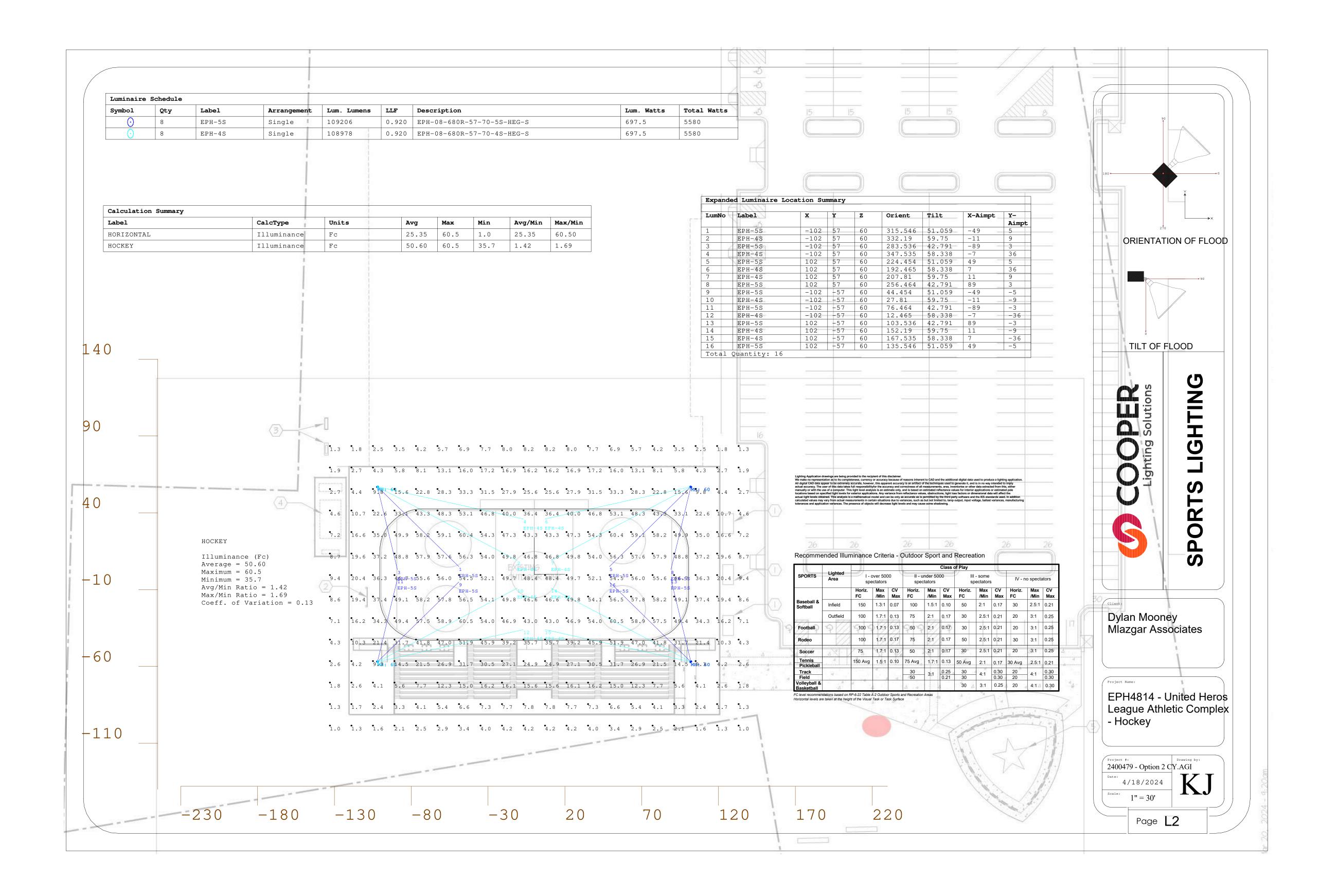
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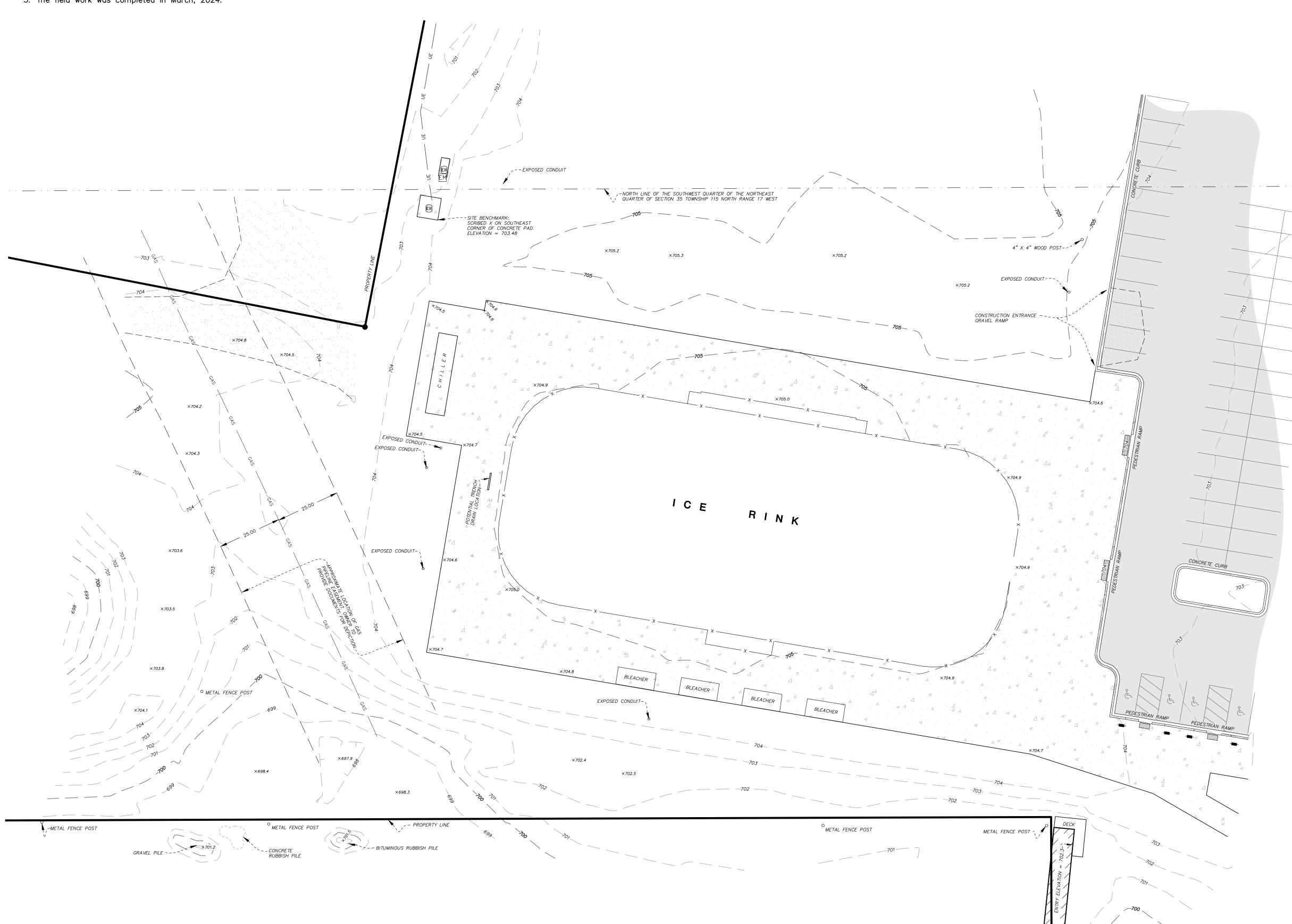


ADDRESS:

2800 Ravenna Trail, Hastings, Dakota County, Minnesota.

SURVEY NOTES:

- 1. The horizontal datum and bearings are based on the Dakota County Coordinate System NAD83(2011).
- 2. The vertical datum is NAVD 88. The site benchmark is the scribed "X" in southeast corner of electrical box concrete pad. (depicted hereon). Elevation = 703.48 feet.
- 3. The location and extent of underground utilities, if shown, are based upon above ground evidence and Gopher State One Call markings per ticket number 240790349. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- 4. No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances.
- 5. The field work was completed in March, 2024.





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Minneapolis Tampa

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PROJECT

UNITED HEROES LEAGUE STADIA & LOCKER ROOMS



ISSUED S	SET		
REVISIO	NS		
DATE	N0.		
-			

CERTIFICATION:

LEGEND

■ ELECTRIC BOX

O GUARD POST

── SIGN

---- GAS MAIN

EM ELECTRIC METER

& HANDICAP PARKING

----- UNDERGROUND ELECTRIC

PROPERTY LINE

FOUND IRON MONUMENT

BITUMINOUS SURFACE

CONCRETE SURFACE

GRAVEL SURFACE

DEPRESSION CONTOUR

TRUNCATED DOMES

SCALE IN FEET

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: March 31, 2024

Anderson Engineering of M

Anderson Engineering of Minnesota, LLC

Nicholas Hillmer Minnesota License No. 45774



Anderson Engineering of Minnesota, LLC

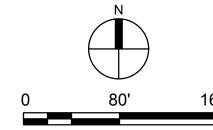
EXISTING CONDITIONS

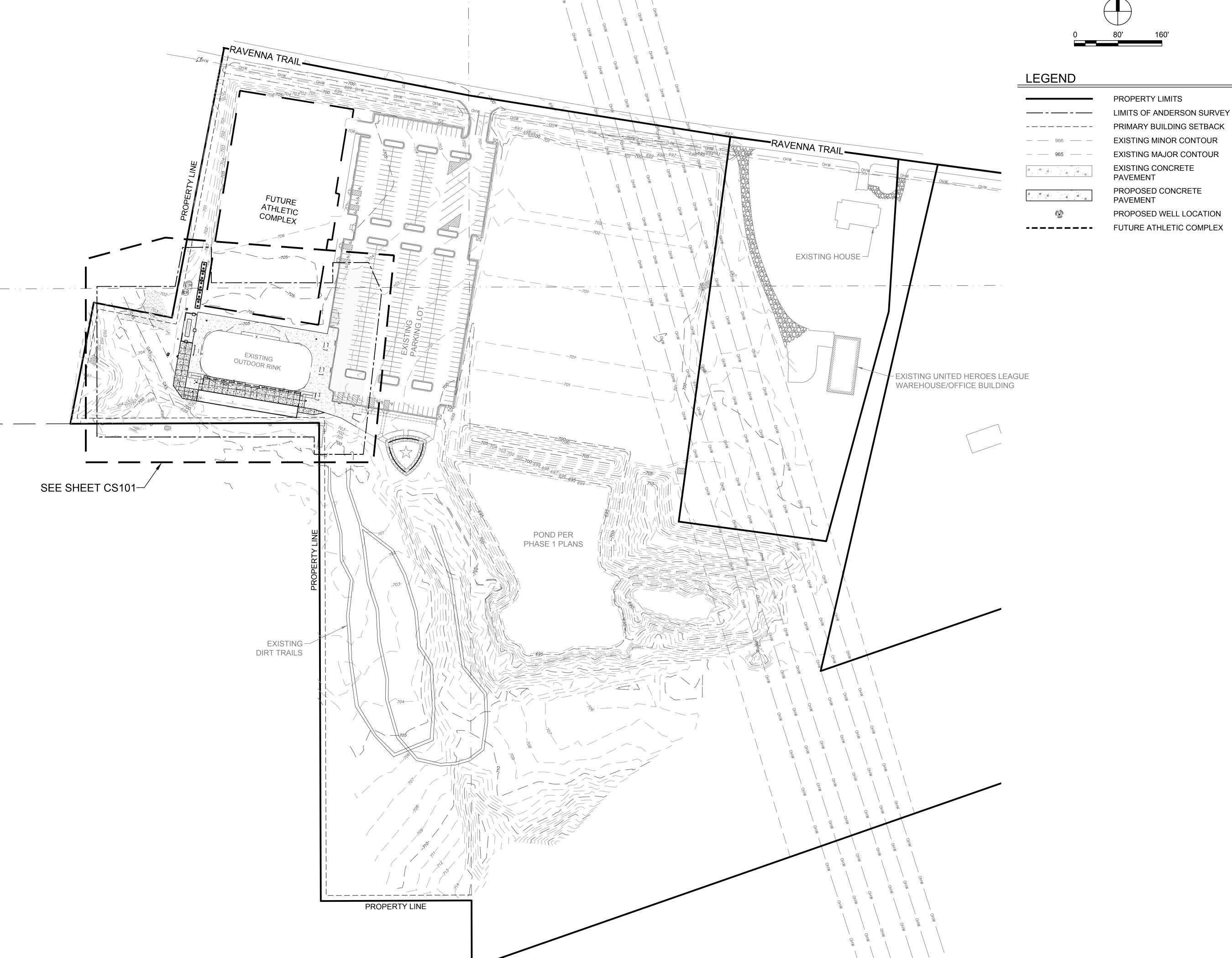
SURVEY

DRAWN BY: JL CHECKED BY: NH

V-100

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PRIMARY BUILDING SETBACK

WWW.htg-architects.com

Minneapolis

Bismarck

1010 Mainstreet, Suite 100 Hopkins, MN 55343 Tel: 952.278.8880

PROJECT

UNITED HEROES LEAGUE STADIA & LOCKER ROOMS



ISSUED S	ET	
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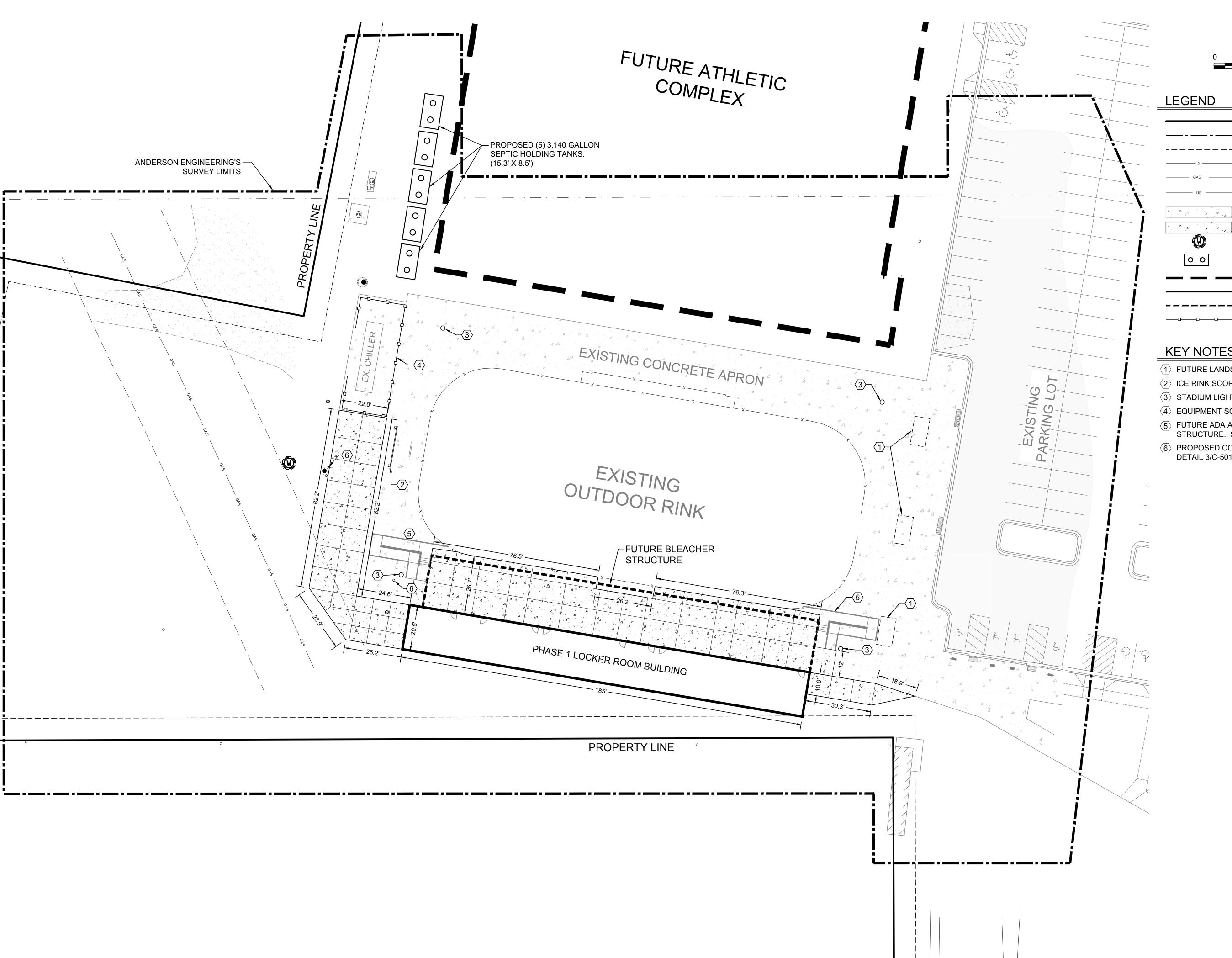
OVERALL SITE PLAN

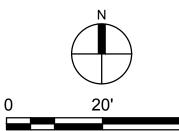
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PROPERTY LIMITS LIMITS OF ANDERSON SURVEY PRIMARY BUILDING SETBACK EXISTING ICE RINK BOARDS **EXISTING GAS LINE** EXISTING UNDERGROUND ELECTRIC LINE **EXISTING CONCRETE WALK** PROPOSED CONCRETE WALK PROPOSED WELL PROPOSED HOLDING TANKS (17.6' X 8.5')

EQUIPMENT FENCE

PROJECT

1010 Mainstreet, Suite 100

Hopkins, MN 55343

Tel: 952.278.8880

UNITED HEROES LEAGUE FUTURE ATHLETIC COMPLEX PHASE 1 LOCKER ROOM BLDG FUTURE BLEACHER STRUCTURE STADIA & LOCKER ROOMS

KEY NOTES

- 1 FUTURE LANDSCAPE PLANTERS
- (2) ICE RINK SCOREBOARD
- (3) STADIUM LIGHTS
- 4 EQUIPMENT SCREENING FENCE.
- 5 FUTURE ADA ACCESSIBLE RAMP FOR BLEACHER STRUCTURE.. SEE ARCHITECTURAL PLANS.
- $\langle \overline{6} \rangle$ PROPOSED CONCRETE BOLLARDS (TYP). SEE DETAIL 3/C-501



ISSUED S	ET	
REVISION	NS	
DATE	N0.	

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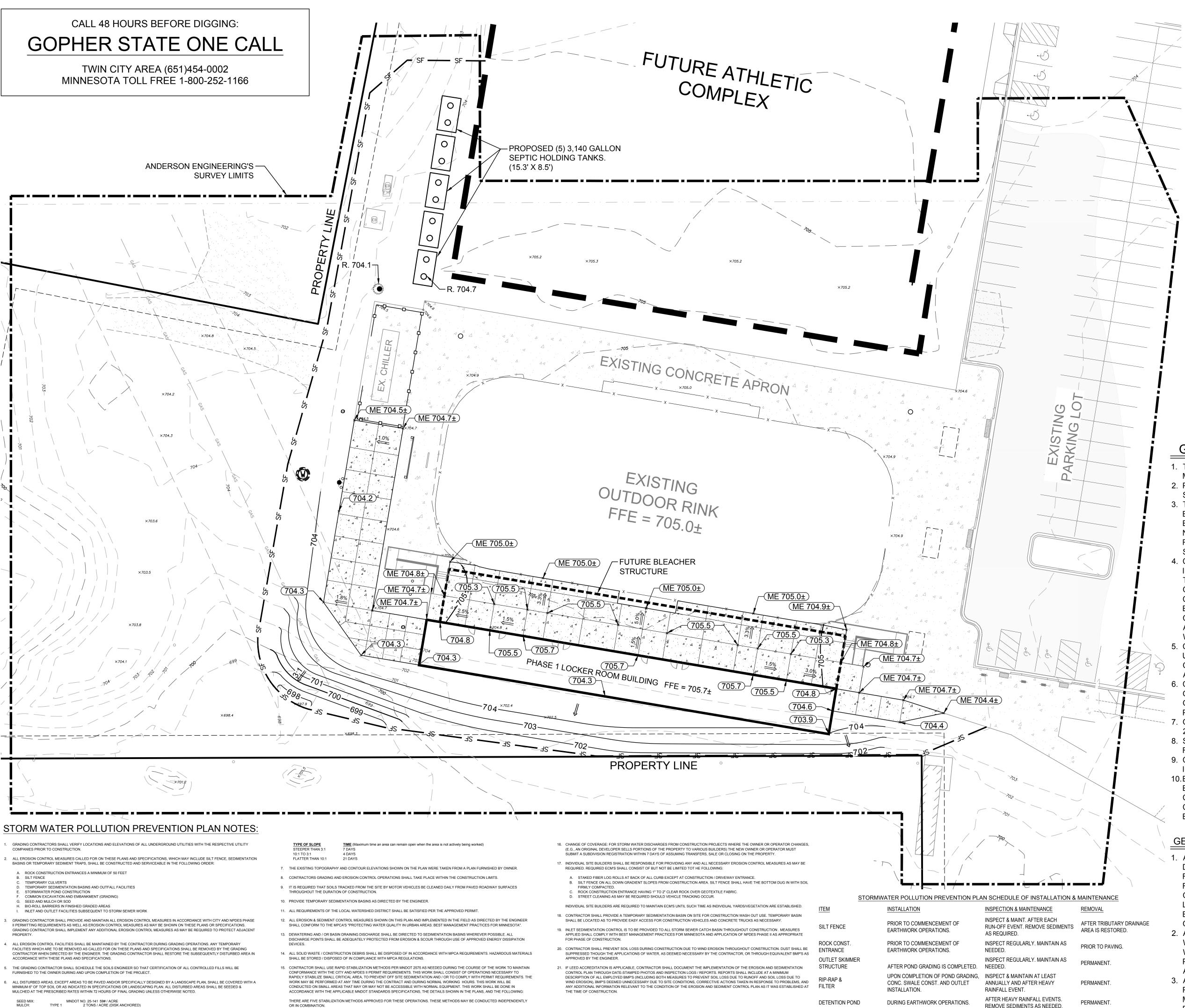
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ENLARGED SITE PLAN

DRAWN BY: JPD CHECKED BY: JD

CS101

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TYPE 3 22-5-10 350# / ACRE

FOLLOWING TABLE OF SLOPES AND TIME FRAMES:

ALL EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 LINEAL FEET OF ANY SURFACE WATER. MUST HAVE

TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREAS YEAR ROUND, ACCORDING TO THE

RAPID STABILIZATION

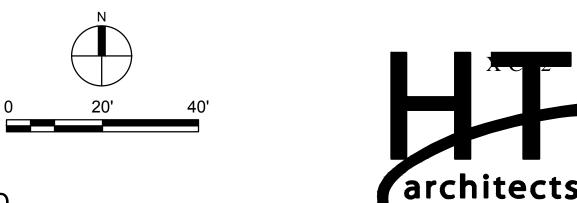
TYPE 3 MULCH WITH TYPE HYDRAULIC MULCH

RIPRAP CLASS II WITH GEOTEXTILE TYPE III

TYPE HYDRAULIC MULCH WITH SEED MIXTURE 22-11

THESE EFFORTS WILL BE INCIDENTAL TO THE EROSION CONTROL BID ITEM

CATEGORY 3 EROSION CONTROL BLANKET WITH SEED MIXTURE



LEGEND PROPERTY LIMITS

LIMITS OF ANDERSON SURVEY www.htg-architects.com PRIMARY BUILDING SETBACK **EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR** PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR Tel: 952.278.8880 **EXISTING SPOT ELEVATION**

DRAINAGE ARROW **EXISTING CONCRETE WALK** PROPOSED CONCRETE WALK **FUTURE ATHLETIC COMPLEX** PHASE 1 LOCKER ROOM BLDG

PROJECT **UNITED HEROES LEAGUE**

FUTURE BLEACHER STRUCTURE **STADIA & LOCKER ROOMS**

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1010 Mainstreet, Suite 100

Hopkins, MN 55343

SPOT ELEVATION KEY

MATCH EXISTING GRADE HIGH POINT ELEVATION **RIM ELEVATION**

SILT FENCE

UNITED HEROES INVERT ELEVATION LEAGUE FINISHED FLOOR ELEVATION

GENERAL NOTES

× 959.4

 \Longrightarrow

4. A A

- 1. THE TOTAL DISTURBED AREA IS EQUAL TO 0.51 ACRES. AN MPCA PERMIT IS NOT REQUIRED
- 2. PROPOSED SPOT ELEVATIONS ARE TO TOP OF FINISHED
- SURFACE UNLESS OTHERWISE NOTED IN LEGEND 3. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES. LOCATIONS OF UTILITIES SHOWN BASED ON SURVEY AND AS-BUILT INFORMATION AND MAY NOT REPRESENT ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR UTILIZING UTILITY LOCATES PRIOR TO STARTING ANY WORK
- 4. CONTRACTOR IS RESPONSIBLE TO QUANTIFY SOIL IMPORT OR EXPORT AND PERFORM THEIR OWN QUANTIT TAKEOFFS FROM THE DRAWINGS. ONSITE EXCAVATION OF SOIL MAY BE NECESSARY TO ACHIEVE FINAL GRADES CONTRACTOR SHALL COORDINATE ADDITIONAL ONSITE BORROW AREAS WITH OWNER AND ENGINEER. SUITABLE OFFSITE IMPORT MATERIAL MAY BE NECESSARY TO ACHIEVE FINAL GRADES. CONTRACTOR TO COORDINATE WITH GEOTECHNICAL ENGINEER TO VERIFY IMPORT.
- 5. CONTRACTOR SHALL EXCAVATE AND DISPOSE OF UNSUITABLE OR CONTAMINATED SOILS IF DISCOVERED ONSITE IN ACCORDANCE WITH APPLICABLE REGULATION AND AS DIRECTED BY GEOTECHNMICAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR MEETING GRADING/COMPACTION REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT AND SPECIFICATIONS FOR THIS
- GRADING ELEVATIONS TO CONFORM TO MNDOT SPEC
- 8. SOIL COMPACTION TESTING SHALL FOLLOW THE FREQUENCY OUTLINED IN THE GEOTECHNICAL REPORT
- 9. CONTRACTOR SHALL COORDINATE SOIL TESTING AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.
- 10. EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED OFF OF EXISTING SITE SURVEY DATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION. NOTIFY ENGINEER WITHIN 24 HOURS OF ALL DISCREPANCIES.

GENERAL SODDING, SEEDING & TOPSOIL NOTES:

- 1. AREAS TO RECEIVE SEED SHALL HAVE A 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL PROVIDE FERTILE FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, BRUSH WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONE LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT
- 2. ALL AREAS SPECIFIED AS 'ROUGH SEED' TO BE SEEDED WITH MNDOT SEED MIX 250 AT A RATE OF 150 LBS./AC. WITH 2 TONS SHREDDED AND PUNCHED IN PLACE STRAW PER ACRE. HYDROSEEDING & MULCHING IS AN ACCEPTABLE ALTERNATE.
- 3. ALL AREAS SPECIFIED AS "MNDOT 25-131" TO BE SEEDED PER MNDOT RECOMMENDED APPLICATION RATES AND METHODS. "MNDOT 25-131" OR APPROVED EQUAL IS A BASIS OF DESIGN. CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL NEEDS TO ESTABLISH VIGOROUS GROWTH PER MNDOT 2014 SEEDING MANUAL STANDARDS.

DURING EARTHWORK OPERATIONS

UPON INLET CONSTRUCTING

AFTER POND GRADING IS COMPLETED.

PERMANENT.

FULLY RESTORED

NO REMOVAL NECESSARY.

AFTER TRIBUTARY AREAS ARE

REMOVE SEDIMENTS AS NEEDED.

INSPECT & MAINTAIN AFTER HEAVY

RAINS. REPLACE WASH-OUT AREAS

WHEN 1/3 CAPACITY OF BMP IS

IMMEDIATELY

REACHED

DETENTION POND

SEED & MULCH

INLET PROTECTION



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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

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REG. NO.



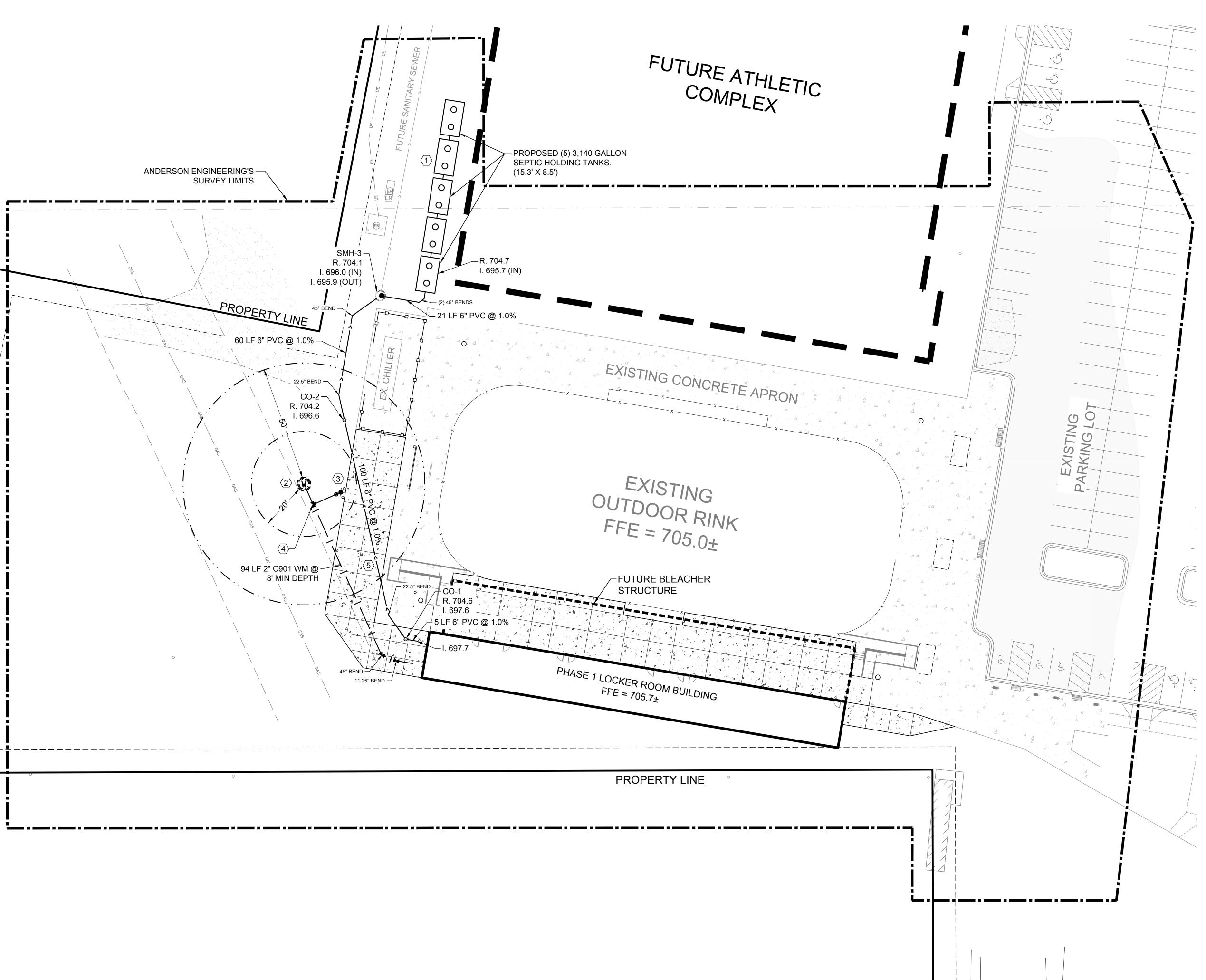
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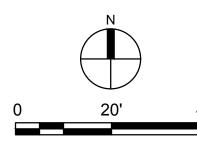
GRADING PLAN

DRAWN BY: JPD CHECKED BY: JD

CG100

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LEGEND

SANITARY SEWER

WATERMAIN FITTING

SEPTIC HOLDING TANK

WELL LOCATION
20' ISOLATION DISTANCE TO GAS
50' ISOLATION DISTANCE TO
SEPTIC TANK

KEY NOTES

0 0

- (1) SEPTIC HOLDING TANKS (5) 3,140 GAL. SEE DETAIL 1/C-502
- $\langle 2 \rangle$ WELL LOCATION
- (3) INSTALL 2" FROST FREE YARD HYDRANT
- $\langle \overline{4} \rangle$ INSTALL 2"X2" TEE
- (5) INSTALL SANITARY SEWER INSULATION OVER ENTIRE LENGTH OF PVC SEWER PIPE (TYP.) SEE DETAIL 4/C-501.

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF MNDOT SPECIFICATIONS, UNLESS DIRECTED OTHERWISE.
- 2. THE CONTRACTOR IS REQUIRED TO ADHERE TO THE SPECIFICATIONS AND REGULATIONS SET FORTH BY THE CITY/UTILITY PROVIDER, CEAM, AND MINNESOTA PLUMBING CODE (MINNESOTA RULES CHAPTER 4714) CONCERNING THE MATERIALS, INSTALLATION, AND TESTING OF WATER AND SANITARY UTILITIES. VERIFY RECEIPT OF ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- 3. ONLY EXISTING TOPOGRAPHIC AND UTILITY INFORMATION WITHIN THE ILLUSTRATED LIMITS WERE PREPARED BY ANDERSON ENGINEERING. INFORMATION OUTSIDE OF THE LIMITS HAS BEEN PROVIDED BY IMEG-ARCHITECTS. BE ADVISED THAT THE LOCATION AND TYPE OF EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE INFORMATION IS NOT WARRANTED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR, IN COOPERATION WITH THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY, IS RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND DEPTH OF ALL UNDERGROUND UTILITIES.

WELL INFORMATION

MINNESOTA DEPARTMENT OF HEALTH

CATEGORIZATION: NONCOMMUNITY TRANSIANT

DEFINITION - FACILITY THAT SERVES AN AVERAGE OF 25 OR MORE PEOPLE FOR AT LEAST 60 DAYS PER YEAR.

- 1. WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT MINNESOTA DEPARTMENT OF HEALTH CODES AND REQUIREMENTS
- HEALTH CODES AND REQUIREMENTS.

 2. COMPLIANCE WITH ISOLATION DISTANCES PER MINNESOTA DEPARTMENT OF HEALTH SHALL BE CONFIRMED AND DOCUMENTED BY THE
- CONTRACTOR IN THE FIELD.

 3. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION ON WATER SYSTEM / WATER TREATMENT.

SEPTIC INFORMATION

CLASSIFICATION OF FACILITY USE:

ENTERTAINMENT ESTABLISHMENTS - STADIUM
 MISCELLANEOUS

FLOW PER STADIUM SEAT: 5 GALLONS PER SEAT PER EVENT DAY

OCCUPANCY CAPACITY:

- 1. BLEACHER SEATING: 1,175 (INCLUDES STANDING ROOM)
- 2. PARTICIPANTS: 300 PEOPLE/DAY

TOTAL PEAK DAILY FLOWS: 1,475 (TOTAL OCCUPANCY) X 5 GPD = 7,375 GPD

AVERAGE DAILY FLOWS: (30% OCCUPANCY) 7,375 X 0.30 = 2,212.5 GPD HHG architects

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PROJECT

UNITED HEROES LEAGUE STADIA & LOCKER ROOMS



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REVISIO	NS
DATE	N0.

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NOT FOR CONSTRUCTION
GARY R. JOHNSON, PE

42010 05/14/2 REG. NO. D



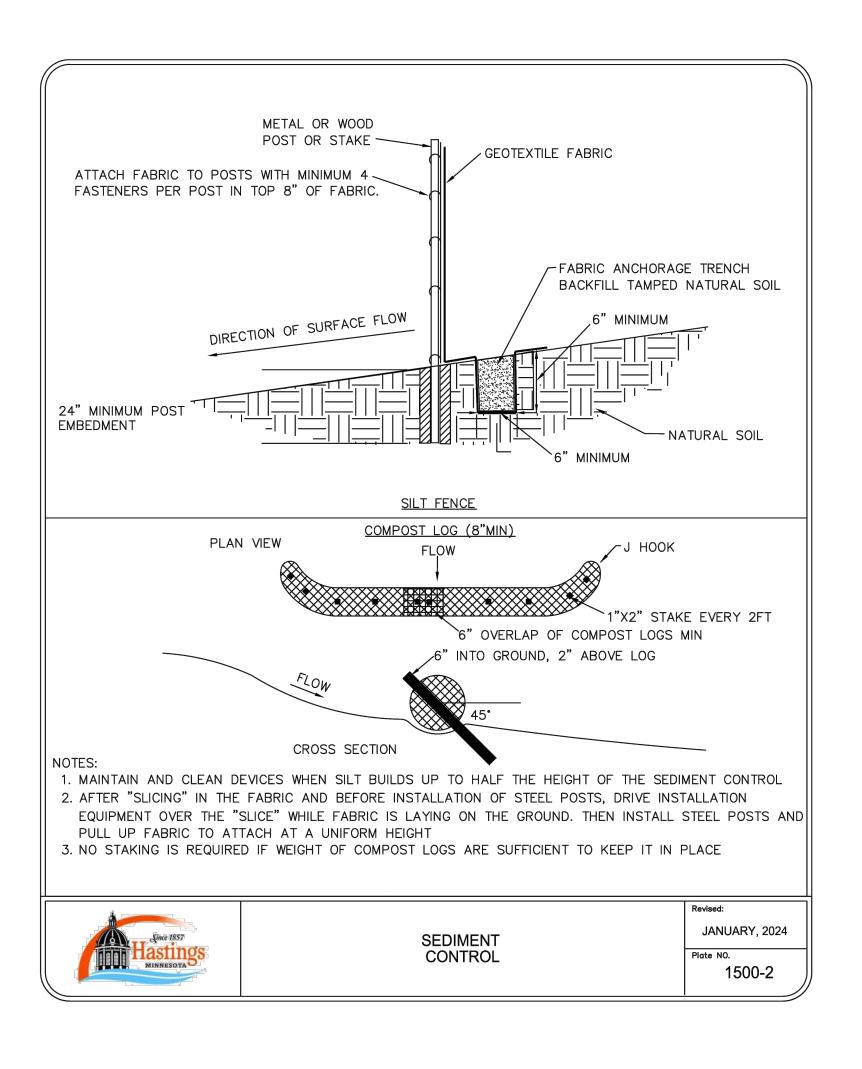
13605 1st Avenue N. #100 Plymouth, MN 55441 | ae-mn.com P 763.412.4000 | F 763.412.4090 Anderson Engineering of Minnesota, LLC

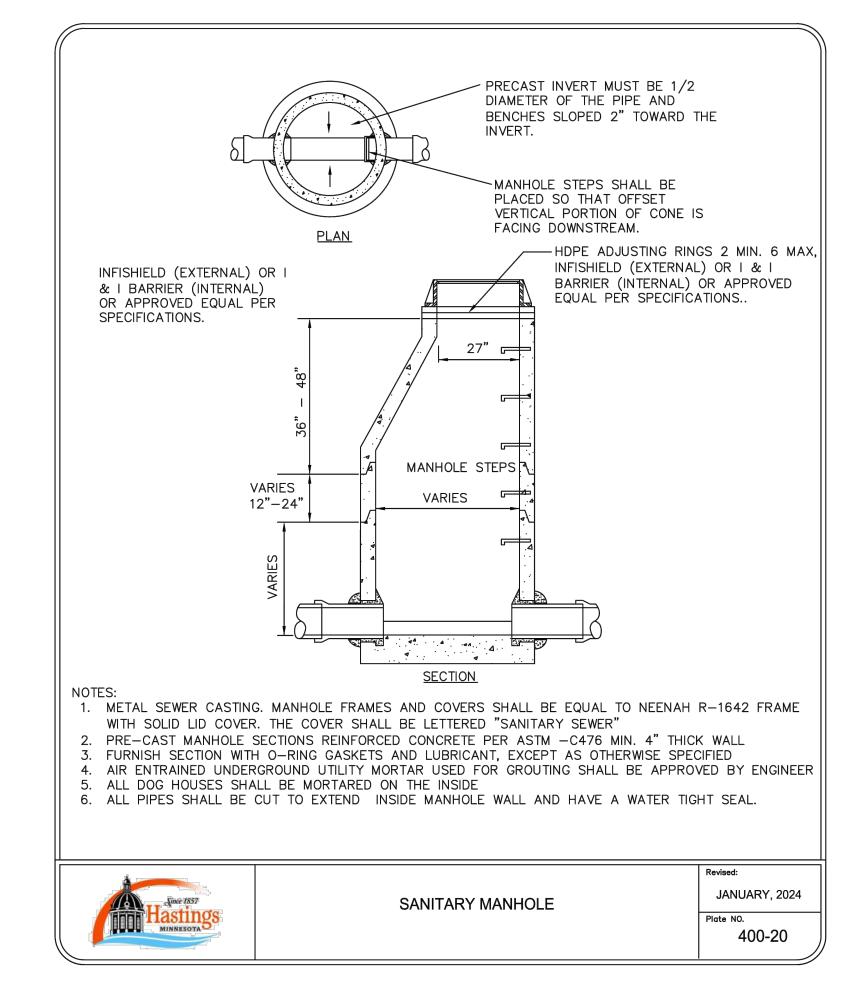
UTILITY PLAN

DRAWN BY: JPD CHECKED BY: GJ

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24" #4 DOWEL, FIXED -

ONE SIDE, SLIP

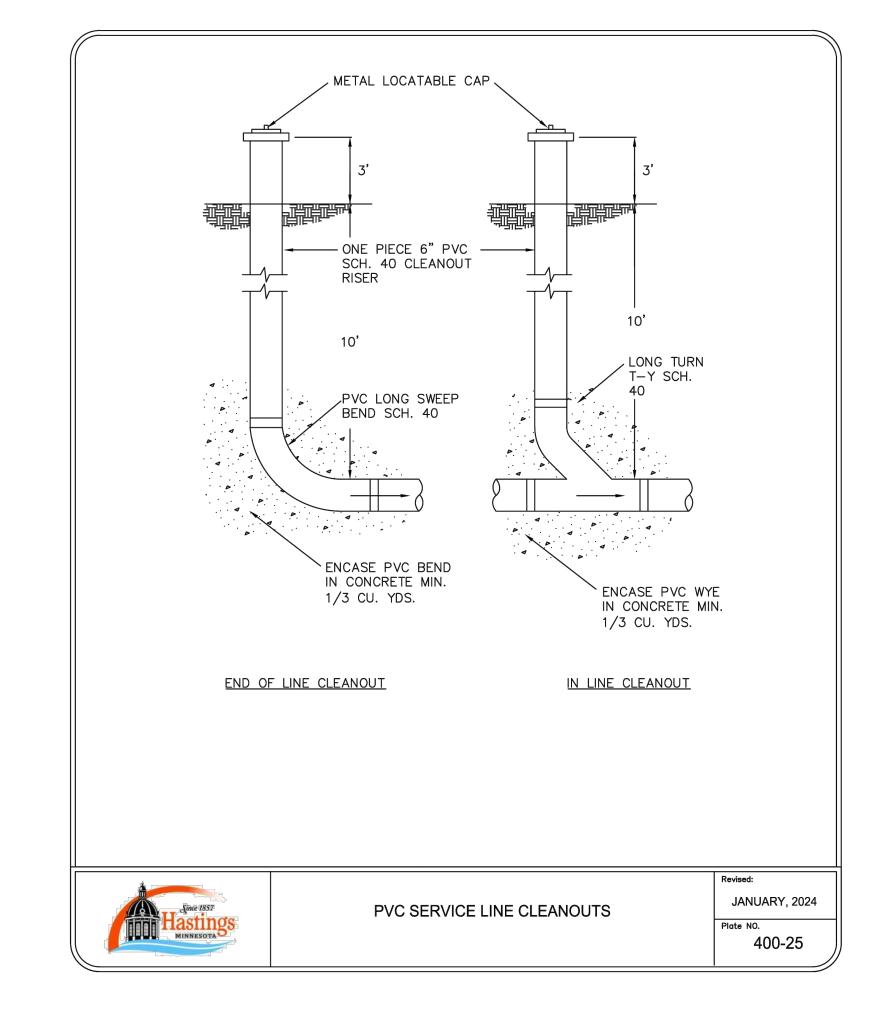
OTHER

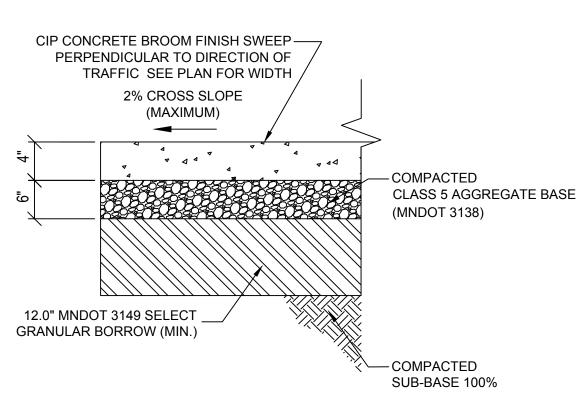
JOINT SEALER

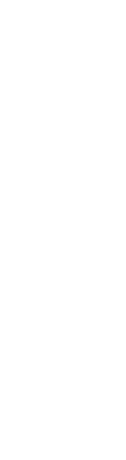
ASTM D 1850

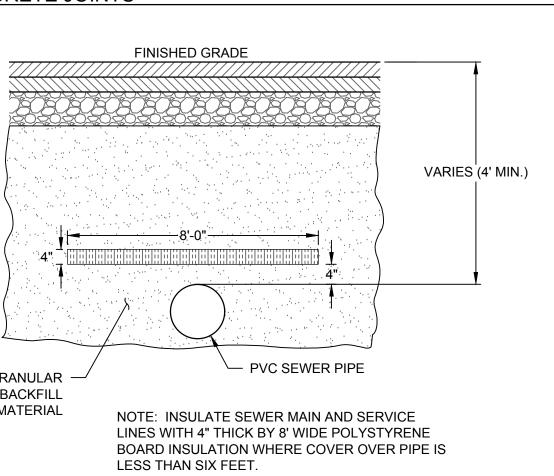
PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752

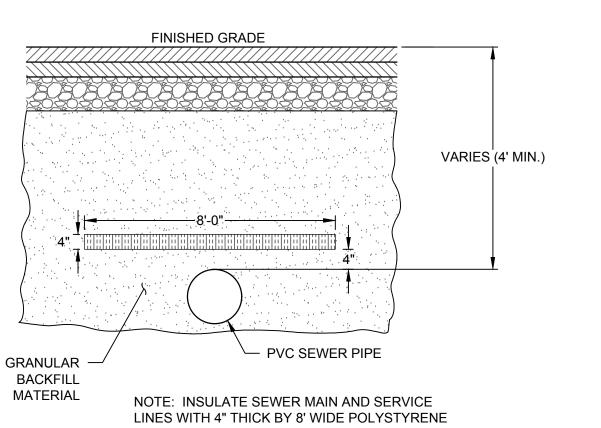
CONFORMING TO

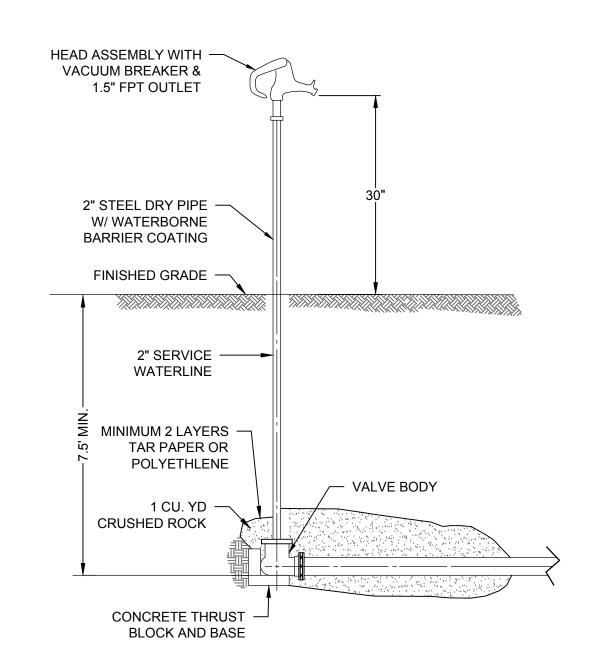












5 FROST FREE YARD HYDRANT

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NOT FOR CONSTRUCTION JEFFREY W. DEITNER, PLA

REG. NO.



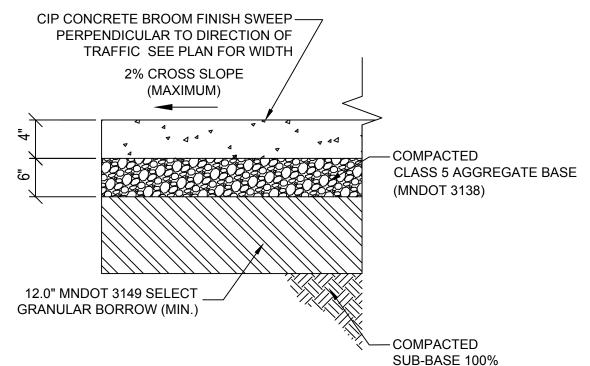
13605 1st Avenue N. #100 Plymouth, MN 55441 | **ae-mn**.com **P** 763.412.4000 | **F** 763.412.4090 Anderson Engineering of Minnesota, LLC

CIVIL DETAILS

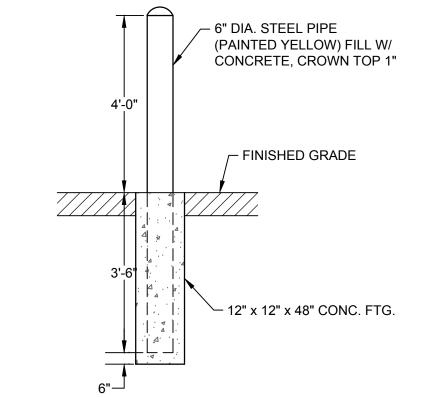
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(3) CONCRETE BOLLARD DETAIL

SANITARY SEWER INSULATION

EXPANSION JOINT

SIDEWALK INTERSECTIONS.

PROVIDE EXPANSION JOINTS AT

BUILDING AND CONCRETE STOOP

OF CONTINUOUS SIDEWALK AND AT

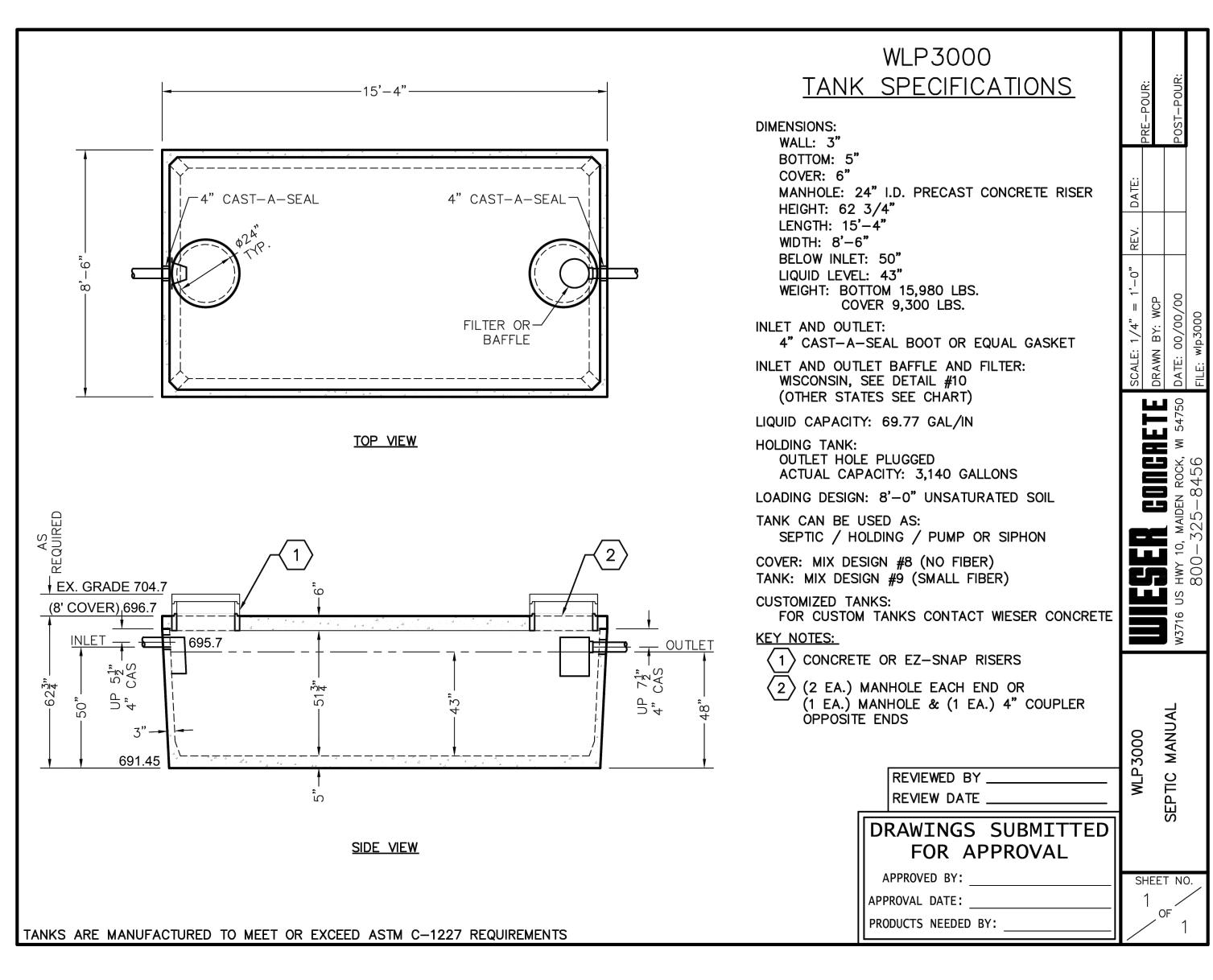
CONTROL JOINT

MANUFACTURER RECOMMENDATIONS.

PROVIDE CONTROL JOINTS PER

NOTE: JOINTS CAN BE SAW CUT.

INTERFACE, AS WELL AS EVERY 24 FEET



1 PRE-CAST SEPTIC HOLDING TANK



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HOLDING TANK

DETAIL

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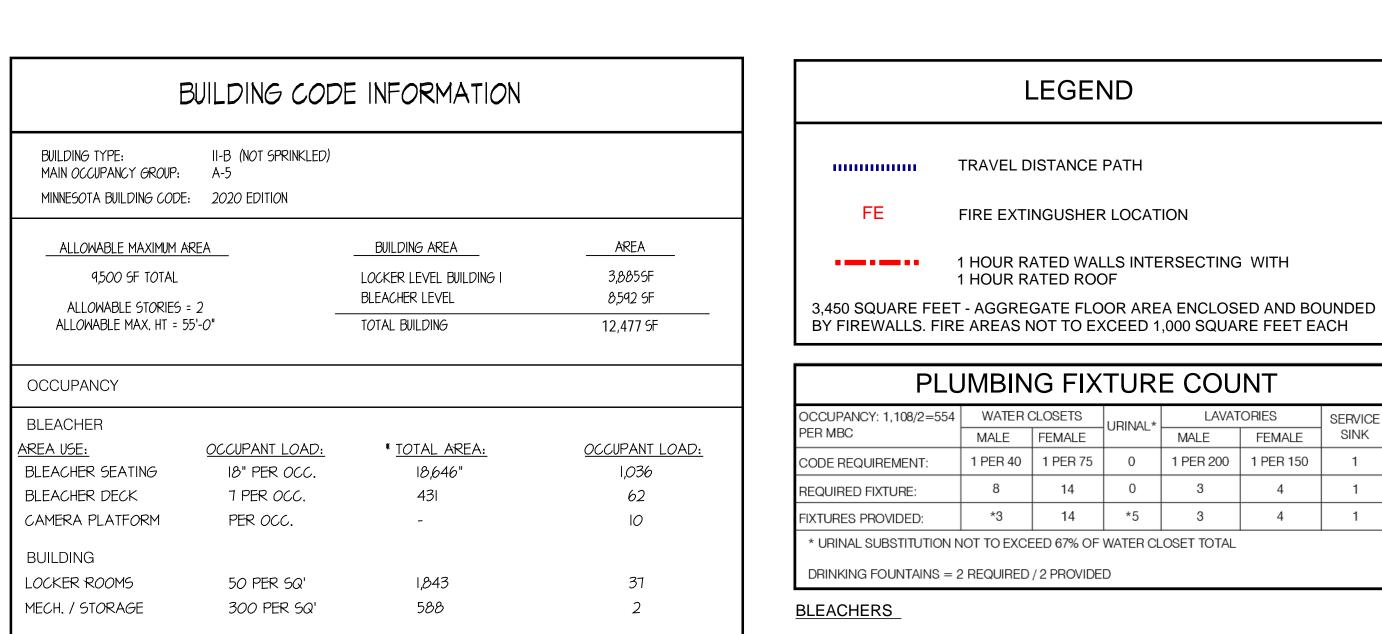
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DATE NO. 05.21.2024	DRC REVIEW

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CODE PLAN

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317

48

SITE

RINK

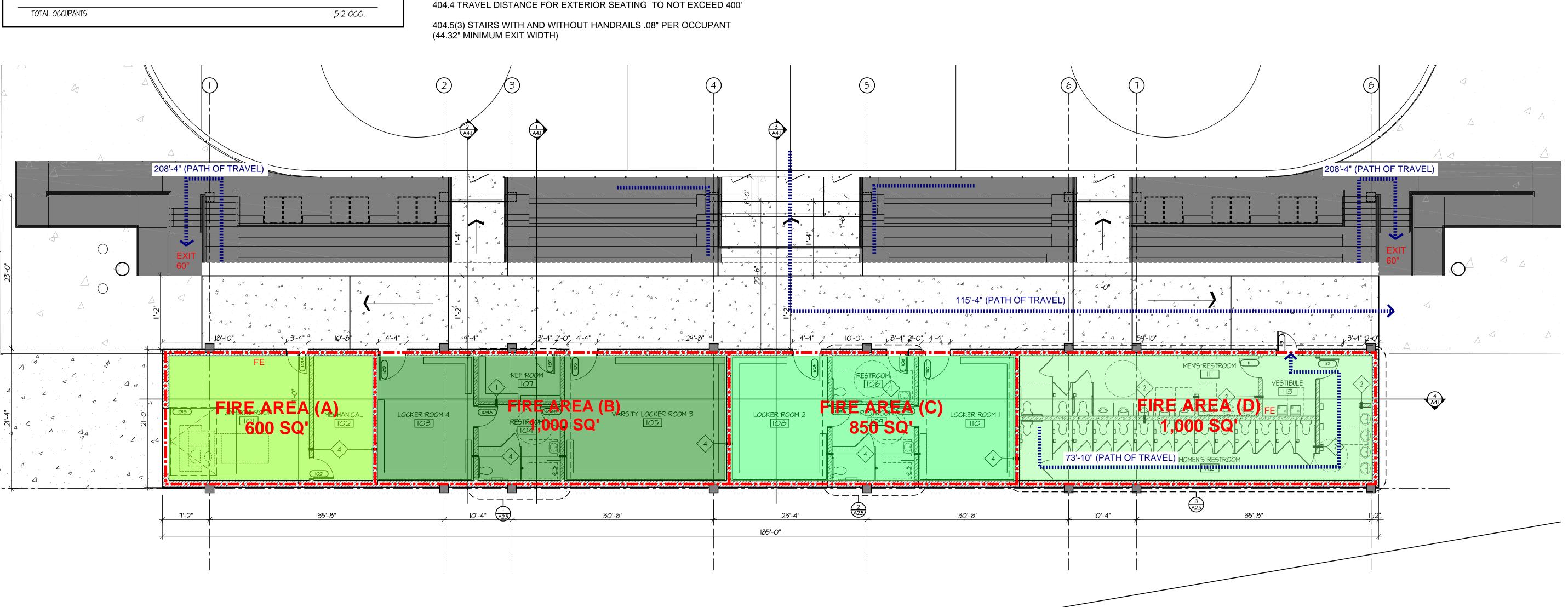
RINK DECK

50 PER OCC.

15 PER *O*CC.

15,808

720



SINK

404.1 EXCEPTION 1 - OPEN AIR SEATING INSTALLATIONS A MINIMUM OF 2 EXISTS TO BE PROVIDED AND SIZED SIZED PER 404.5 TO ACCOMIDATE

THE OCCUPANT LOADS SERVED.

EXISTING OUTDOOR RINK



- ALL SITE GRADING TO BE DONE PER CIVIL DRAWINGS.
SLOPE SIDEWALKS & GRADE AWAY FROM BUILDING TYP.

- VERIFY & LOCATE ALL UNDERGROUND PHONE & UTILITY LINES PRIOR TO ANY EXCAVATION.

- SEE CIVIL & MECH, FELEC. DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE UTILITIES.

- BARRICADE OFF CONSTRUCTION AREA AS REQUIRED KEEP CONSTRUCTION AREA TO MINIMUM.

- SLOPE SIDEWALKS & GRADE AWAY FROM BUILDING TYPICAL I:20 MAX. SLOPE.

- MATCH NEW CONSTRUCTION WITH EXISTING WHEREVER NECESSARY (ie., CONC., CURBS, CONC. WALKS, PAVING, etc.).

- MATCH/TIE NEW GRADING INTO EXISTING GRADING.

- CUT & PATCH EXISTING BITUMINOUS PAVING, CONC. CURBS & SIDEWALKS TO MATCH EXISTING.

- ALL MECHANICAL & ELECTRICAL EXPOSED PIPING, GRILLES, CONDUITS, etc. TO BE PAINTED.

- INSTALL CONDUIT PRIOR TO GEOFABRIC/GRAVEL. COORDINATE WITH G.C. & EARTHWORK SUBCONTRACTOR.

SITE PLAN KEYED NOTES:

- PLANTER
- 2 SCOREBOARD
- (3) EXISTING TRANSFORMERS
- 4 EXISTING REFRIGERATION EQUIPMENT
- 5 EXISTING U.H.L. MONUMENT
- 6 STADIUM LIGHTS ON CONCRETE BASE
- (7) CONCRETE BOLLARDS
- 8 FENCE EQUIPMENT SCREENING
- REMOVE EXISTING ZAMBONI DOOR
- (I) RELOCATE ZAMBONI DOOR TO CENTER
 OF RINK
 (II) PHASE 2- PRECAST CONCRETE STADIUM
- PHASE 2- PRECAST CONCRETE STADIUM SEATING AND METAL RAMPS

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05.21.2024	DRC REVIEW
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SITE PLAN & SITE DETAILS

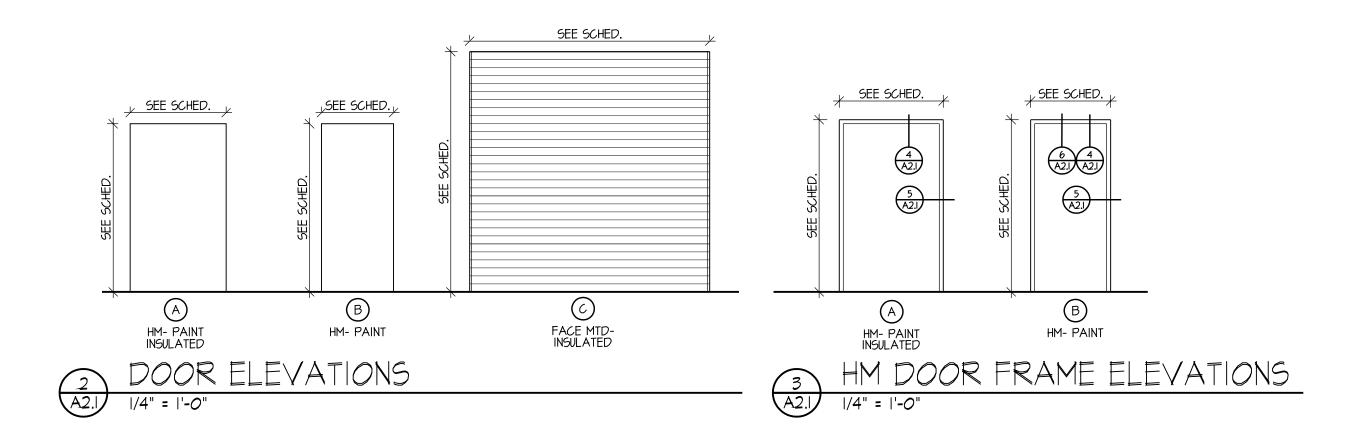
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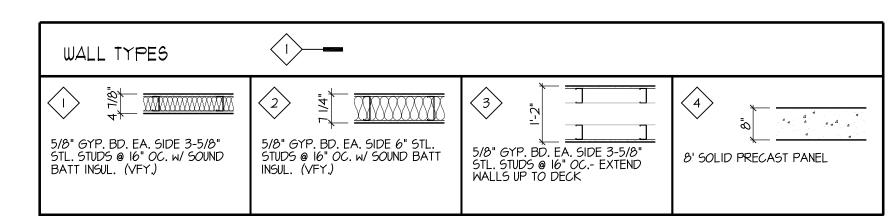
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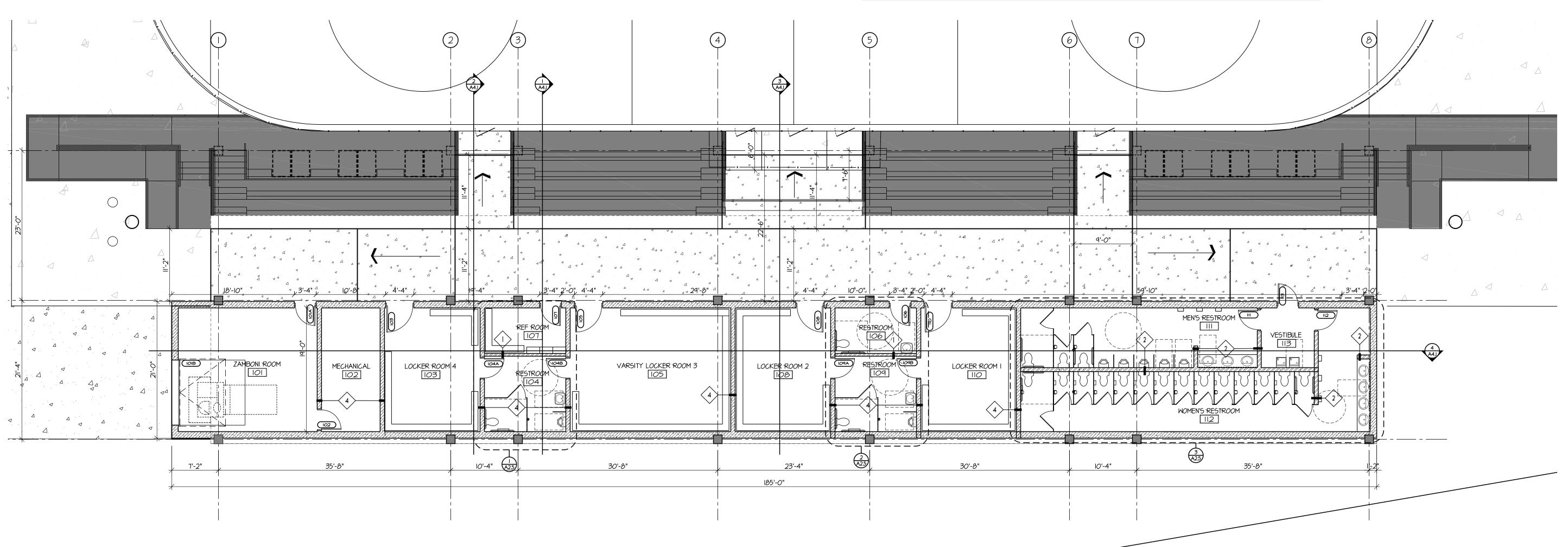
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NO DOOR (175	DC	OR	FR/	AME	DATING	HARDWARE	NOTES	
NO	O DOOR SIZE	MATL.	TYPE	MATL.	TYPE	RATING	HARDNARE	NOTES
IOIA	3'-0" x 7'-0"	HM	2B/A2.I	HM	3B/A2.I	I-HR		
IOIB	10'-0" x 10'-0"	НМ	2C/A2.I		-	I-HR		
102	3'-0" x 7'-0"	HM	2B/A2.I	HM	3B/A2.I			
103	4'-0" × 7'-0"	НМ	2A/A2.I	НМ	3A/A2.I	I-HR		
104A	3'-0" x 7'-0"	HM	2B/A2.I	HM	3B/A2.I			
104B	3'-0" x 7'-0"	HM	2B/A2.I	НМ	3B/A2.I			
105	4'-0" × 7'-0"	НМ	2A/A2.I	HM	3A/A2.I	I-HR		
106	3'-0" x 7'-0"	НМ	2B/A2.I	НМ	3A/A2.I	I-HR		
107	3'-0" x 7'-0"	НМ	2B/A2.I	HM	3B/A2.I	I-HR		
108	4'-0" × 7'-0"	НМ	2A/A2.I	HM	3A/A2.I	I-HR		
109A	3'-0" × 7'-0"	НМ	2B/A2.I	НМ	3B/A2.I			
109B	3'-0" × 7'-0"	НМ	2B/A2.I	HM	3B/A2.I			
IIO	4'-0" × 7'-0"	НМ	2A/A2.I	HM	3A/A2.I	I-HR		
III	3'-0" × 7'-0"	НМ	2B/A2.I	HM	3B/A2.I	I-HR		
II2	3'-0" × 7'-0"	НМ	2B/A2.I	HM	3B/A2.I	I-HR		
II3	3'-0" x 7'-0"	HM	2B/A2.I	НМ	3B/A2.I			



RO	OM FINISH SCHEDULE:															
	NO. ROOM NAME	FL <i>OO</i> R		BASE		WALL5							∠EII	II ING		
NO.						NORTH		SOUTH		EAST		WEST		CEILING		REMARKS
		MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	MATL.	FINISH	
101	ZAMBONI ROOM	CONC	-	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
102	MECHANICAL	CONC	-	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
103	LOCKER ROOM 4	CONC	'RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
104	RESTROOM	CONC	'RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
105	VARSITY LOCKER ROOM 3	CONC	RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
106	RESTROOM	CONC	'RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
107	REF ROOM	CONC	'RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
108	LOCKER ROOM 2	CONC	'RF	-	-	-	PT	-	PT	-	PT	1	PT	EXP	-	
109	RESTROOM	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
110	LOCKER ROOM I	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	1	
III	MEN'S RESTROOM	CONC	POL	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
II2	WOMEN'S RESTROOM	CONC	POL	-	-	-	PT	-	PT	-	PT	-	PT	EXP	1	
II3	VESTIBULE	CONC	POL	-	-	-	PT	-	PT	-	PT	1	PT	EXP	ı	







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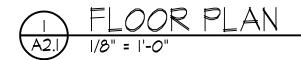
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05.21.202	4	DRC REVIEW
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LICENS	SED A	RCHITECT UNDER THE LAWS OF THE

FLOOR PLAN, DOOR FRAME ELEVATIONS AND DETAILS

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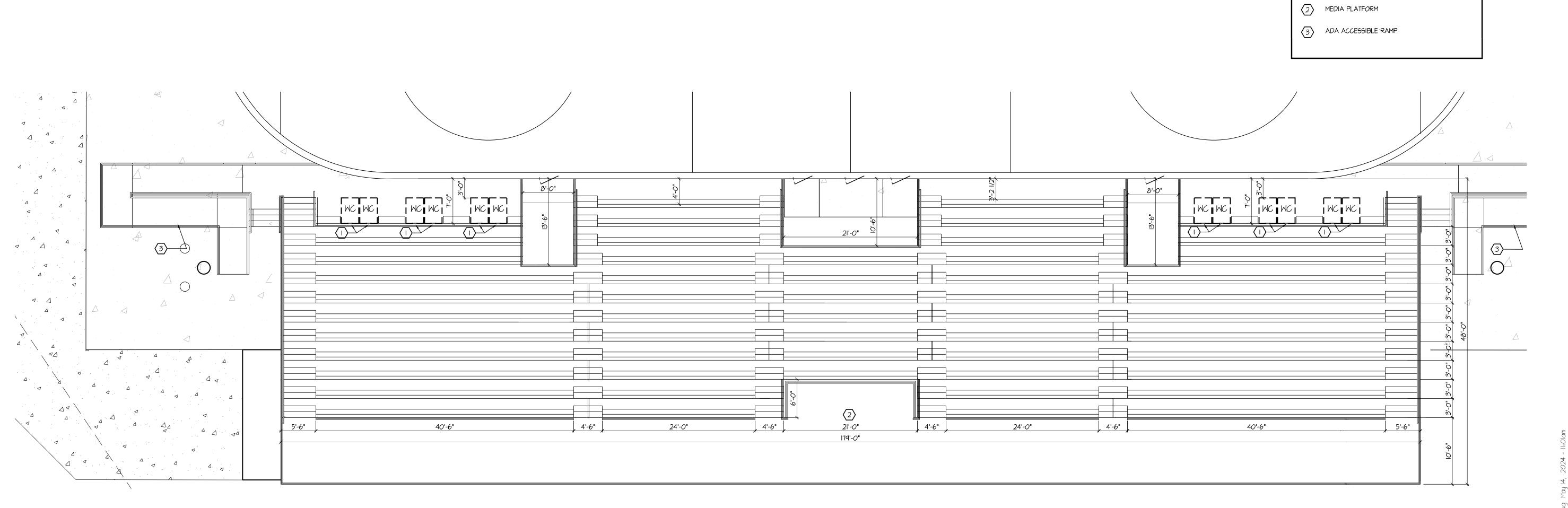
DATE NO.

KEYED PLAN NOTES

ACCESIBLE SEATING SIGN

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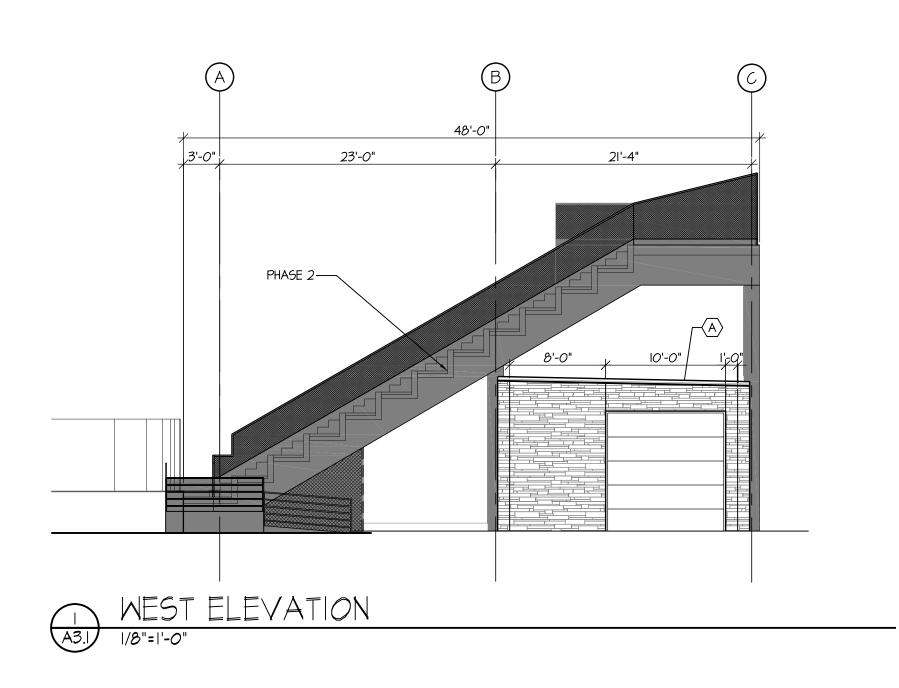


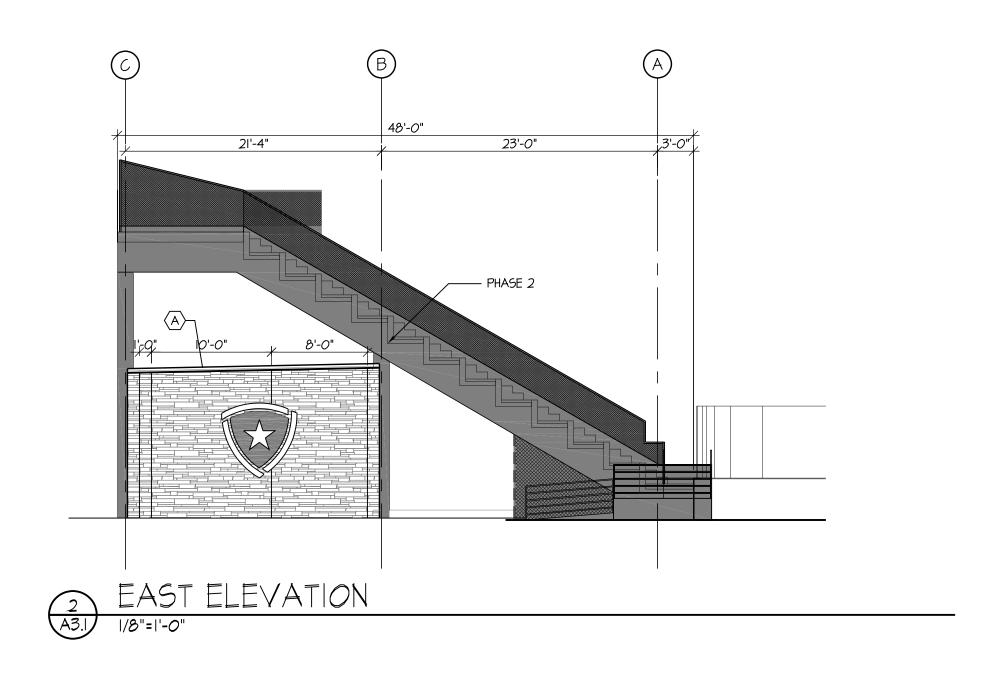
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BLEACHER SEATING FLOOR PLAN

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GENERAL NOTES:

I. PHASE 2- PRECAST STADIA AND COLUMNS

EXTERIOR FINISHES:

A PRE-FINISHED METAL COPING:
MANUF:
B HOLLOW METAL DOOR AND FRAME:
MANUF:
COLOR:
C NOT USED:
MANUF:
D NOT USED:
MANUF:
E NOT USED:
MANUF:



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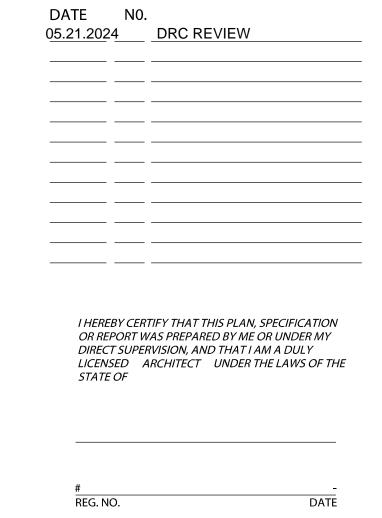
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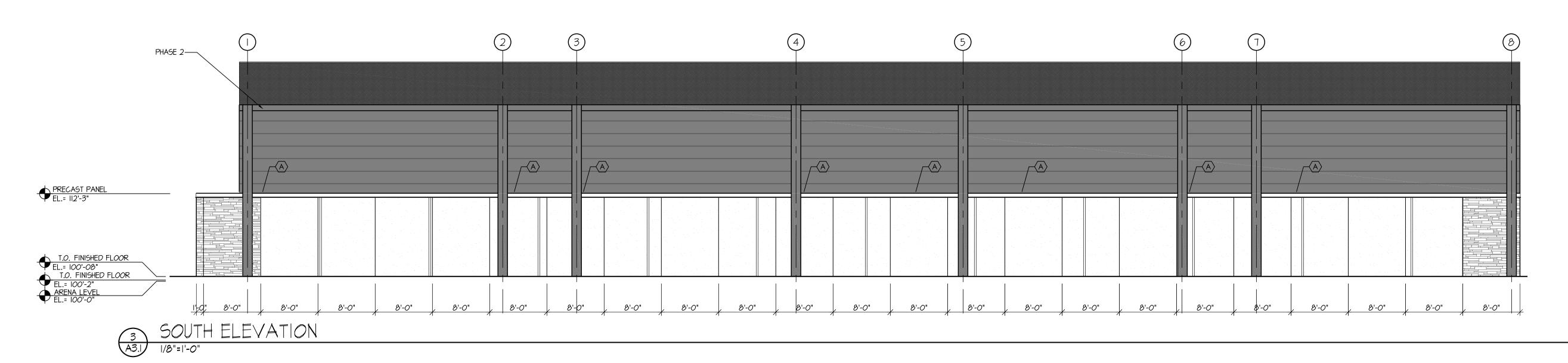
EXTERIOR ELEVATIONS

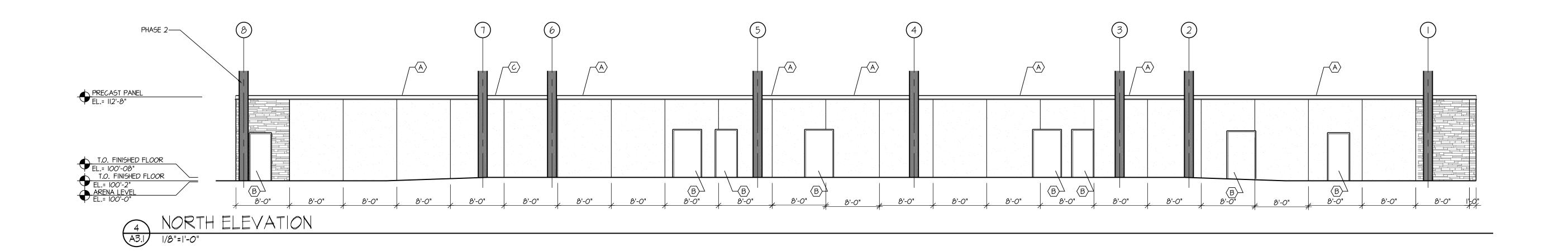
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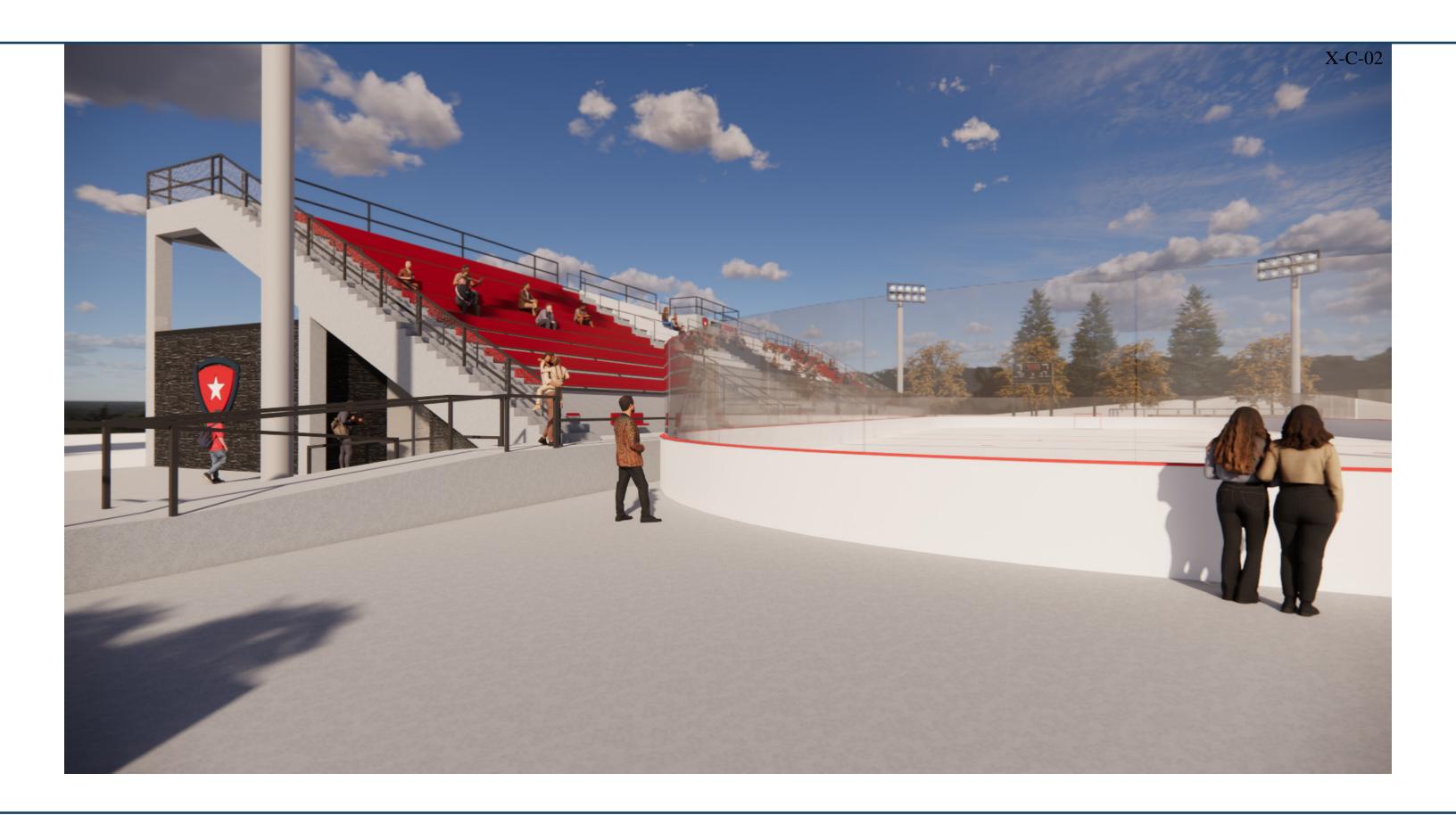






















#24-24 X-C-02



City of Hastings Community Development Department

Land Use Application

Address or PID of Pro	operty: 15211 Ravenna Trail, H	astings MN						
Applicant Name: Mar	shall Andrews - HTG Architects		Property Owner: Shane Hudella - United Heroes					
Address: 1010 Mainstree	et Suite 100	Address: 15215 Raven	na Trail, Hastings MN					
Hopkins, MN 55343		Hastings MN 55033						
Phone: (952) 278-8880		Phone: (651) 319-0737						
Fax: n/a	rchitects.com	Fax: n/a						
Email: mandrews@nig-ar	cnitects.com	Email: snanen@unitedr	eroesleague.org					
accommodate the cor	nstruction of locker / restroor	m structure and seating. Phase	e United Heroes rink and site. To 1 - Install site utilities to service the g and infrastructure for concrete					
			structure and seating accessories					
Check Applicable Line Rezone Final Plat Variance Vacation House Move Prelim Plat	e(s) Please Note: All I \$500 \$600 \$300 \$500 \$500 \$500 \$500 + \$5,000 escrow	Fees and Escrows are due at the Minor Subdivision Special Use Permit Comp Plan Amend. Lot Split/Lot Line Adj. Annexation EAW	\$500 \$500 \$500 \$75 \$500 +\$5,000 escrow \$500 + \$5,000 escrow					
X Site Plan	\$500 + \$5,000 escrow	Interim Use Permit	\$500					
Total Amount Due: \$	5,500 Mal	ke checks payable to City of H	lastings.					
	Mo	st credit cards accepted, excl	uding escrow payments.					
Please ensure that al	copies of required docur	nents are attached.						
Marshell arders	05.12.2024	Soular	- 14 MAY 2024					
Applicant Signature	Date	Owner Signature	Date					
Marshall Andrews - Project I	Manager (HTG Architects)	SHANE HUDO	ELLA, PRESIDENT					
Applicant Name and	Title – Please Print	Owner Name – F	Please Print					
OFFICIAL USE ONLY	Rec'd By: JHINZ	um (o	. 5/14/24					
File # 24-24	Rec'd By:	Date Rec'd						