

# City of Hastings

## Planning Commission Memorandum

**To:** Planning Commission Members  
**From:** Justin Fortney, Associate Planner  
**Date:** April 23, 2012  
**Item:** Site Plan Review – St. Phillip’s Lutheran Church #2012-14 – 1401 15<sup>th</sup> Street West

**Planning Commission Action Requested:** The Planning Commission is asked review the proposed site plan.

**Background Information:** The applicant is proposing to add onto the south side of the existing 13,589 Sq Ft building. The addition of 12,468 Sq ft includes administrative office space, lobby area, and sanctuary. Possible future expansion plans are also shown on the sides of the proposed sanctuary.

The proposal also includes the expansion of the parking lot from about 95 parking spaces to 202. The new parking lot will still access 15<sup>th</sup> street in addition to a new driveway on Pleasant Drive. To facilitate the enlargement of the parking lot, a storage garage on the west side of the property will be relocated to the south side of the new parking lot. The northwest corner of the property is planned for a future parking lot expansion of 81 stalls.

### Landscaping

The landscaping plan includes an adequate number of trees and shrubs based on the landscaping requirements. The enlargement of the parking lot required the removal of 38 trees. The tree replacement guidelines required 39 additional trees be planted of at least a 3” caliper.

	Required	Provided
Trees	61 + 39 to mitigate tree loss = 100	109
Shrubs	51	110

### Building Materials

The proposed materials meets the design standards. The design standards require that a minimum of 65% of the façade be of class 1 or 2 materials with 25% being class 1. The proposal

shows that glass, brick, and seamless metal panels (all class 1) make up about 65% of the façade of the facades. The remaining portion of the façade is textured precast concrete t panels (class 2)

### **Parking**

The proposed parking plans meet the City parking standards. The parking standards for a church are one space for every 3 seats. There are 549 seats, requiring a total of 183 parking stalls. 202 parking spaces are provided.

### **Lighting**

The photometric plan shows the parking lot lighting to be between 0 and .5 foot candles at the property lines with an average of .09. City code requires no more than .5 in a residential area.

### **Recommended Action:**

Approval of the site plan, subject to the following conditions:

- 1) Conformance with the Planning Commission Staff Report and plans dated February 23<sup>rd</sup> 2012.
- 2) Adherence to the approved Plans including Site Plan, Landscape Plan, Grading, Drainage, Erosion Control, and Stormwater Plans.
- 3) All disturbed areas on the property shall be stabilized with rooting vegetative cover to eliminate erosion problems.
- 4) Final approval of the development grading, storm water and utility plans by the City of Hastings. The applicant shall be liable for any costs involved with project review.
- 5) Any uncompleted site work (including landscaping) must be escrowed at 125 percent of the estimated value prior o issuance of a certificate of occupancy.
- 6) Approval is subject to a one year Sunset Clause; if significant progress is not made towards construction of the proposal within one year of City Council approval, the approval is null and void.

### **Attachments:**

- Aerial Map
- Pictures
- Full Plans



SW



NW



East



# ST. PHILIP'S LUTHERAN CHURCH

## HASTINGS, MINNESOTA

CITY SUBMISSION SET

### PROJECT TEAM

**ARCHITECT**  
Station 19 Architects, Inc.  
2001 University Ave. S.E. Suite 100  
Minneapolis, MN 55414  
PH:(612) 623-1800  
FAX:(612) 623-0012

**CONTRACTOR**  
Langer Construction  
54 E. Moreland Avenue,  
St. Paul, MN 55118  
PH:(651) 457-5993  
FAX:(651) 457-7088

**ELECTRICAL**  
Ries Electric Company  
777 North Concord Street  
South St. Paul, MN 55075-1195  
PH:(651) 451-2238 ext.13

**OWNER**  
St. Philip's Lutheran Church  
1401 16th St. West  
Hastings, MN 55033  
PH:(651) 437-6641

**CIVIL ENGINEER**  
Loucks Associates  
7200 Hemlock Lane, Suite 300  
Minneapolis, MN 55369  
PH:(763) 424-5505

I HEREBY CERTIFY THAT THIS PLAN MEETS ALL CITY OF HASTINGS AND VERMILION RIVER W  
DISCHARGE RATE CONTROL AND WATER QUALITY TREATMENT REQUIREMENTS  
  
*Volker Oeder*  
PE SIGNATURE  
43423  
LICENSE NUMBER

### LOCATION MAP



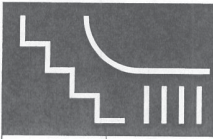
- T1.1 TITLE SHEET
- CIVIL
  - C1-1 EXISTING CONDITIONS
  - C1-2 SITE DEMOLITION
  - C2-1 SITE PLAN
  - C3-1 GRADING PLAN
  - C3-2 SWPPP
  - C4-1 UTILITY PLAN
  - C8-1 DETAIL PLAN
  - L1-1 LANDSCAPE PLAN
- ARCHITECTURAL
  - A0.1 CODE PLAN
  - A1.1 SITE PLAN
  - A6.1 ELEVATIONS
- ELECTRICAL
  - E1.0AGI ELECTRICAL SITE PLAN PHOTOMETRIC

### GENERAL NOTES:

1. NO CONSTRUCTION MAY BEGIN UNTIL EROSION AND SEDIMENT CONTROLS ARE IN PLACE AND APPROVED BY THE CITY.
2. NO CONSTRUCTION MAY BEGIN UNTIL A PRECONSTRUCTION MEETING IS HELD WITH THE CITY.
3. NO CHANGES SHALL BE MADE TO APPROVED PLANS WITHOUT WRITTEN CONSENT OF THE CITY OF HASTINGS.
4. IRRIGATION SYSTEMS REQUIRE SEPARATE METERED SUPPLY LINE CONNECTED TO THE PUBLIC WATER MAIN AND PERMITTING THROUGH THE CITY BUILDING DEPARTMENT.
5. GOPHER STATE ONE CALL: 851-454-0002  
800-252-1166  
<http://mnickeentery.korttroweb.com>
6. CITY OF HASTINGS PUBLIC WORKS: 1225 PROGRESS DRIVE  
ENGINEERING: 651-480-2334  
MAINTENANCE: 651-480-6185
7. PREVAILING SPECIFICATIONS AND STANDARDS:  
CITY OF HASTINGS STANDARD SPECS  
MINDOT SPECIFICATIONS  
MNDOT SPECIFICATIONS  
CEAM SPECIFICATIONS

### SYMBOL LEGEND

MATERIAL SYMBOLS	SYMBOL LEGEND
EARTH	GRID LINE
CONCRETE	INTERIOR WALL TYPE
CONCRETE MASONRY UNIT	SOFFIT OVERHANG
CUT STONE	SOFFIT OVERHANG
BRICK	DETAIL SYMBOL, SHEET NUMBER
PLASTER OR GYPSUM BOARD	EXISTING WALL
METAL (LARGE SCALE)	ROOM NUMBER
PLYWOOD	DASH LINE INDICATES WORK NOT IN VIEW OF CONCERNE
WOOD FINISH	HOLLOW METAL FRAME TYPE
2X WOOD FRAMING	ELEVATION NUMBER
NON-SIZED WOOD FRAMING	SECTION NUMBER
BLANKET INSULATION	EXTERIOR WALL TYPE
ACUSTIC TILE	SECTION SYMBOL, SHEET NUMBER
RIGID INSULATION	



**STATION NINETEEN**  
Architects - Incorporated

3901 UNIVERSITY AVENUE, SUITE 100 EAST  
MINNEAPOLIS, MINNESOTA 55414  
PH: (612) 322-3900  
FAX: (612) 322-3912

Project No. 11-011  
Project Name: ST. PHILIP'S LUTHERAN CHURCH  
Project Location: HASTINGS, MINNESOTA  
Project Number: 4327

**NOT FOR CONSTRUCTION**

SIGNATURE: NICOLE THOMPSON  
ARCHITECT: NICOLE THOMPSON  
REGISTRATION NUMBER: 41889  
DATE: 14 MARCH 2012  
DRAWN BY: EJ  
CHECKED BY: AK

ST. PHILIP'S LUTHERAN CHURCH  
HASTINGS  
MINNESOTA

Project Number: 4327

CITY OF HASTINGS  
SUBMISSION  
TITLE  
SHEET

**T1.1**

For Use Only by the Architect/Engineer  
This drawing is the property of the Architect/Engineer and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect/Engineer. This drawing is to be used for the project and location specified on the drawing. Any other use is prohibited. © 2012 All rights reserved.

PROJECT NAME:

St. Philip's  
Lutheran Church



Headings, Minnesota

Large Construction

S.F.E. #1612/018

S. Paul, MN 55118



DESIGNER:

LOUCKS  
ASSOCIATES

Professional Engineer License No. 10000  
Professional Surveyor License No. 10000  
Professional Land Surveyor License No. 10000

DATE:

PROJECT NO.:

CLIENT:

SCALE:

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CHECKED:

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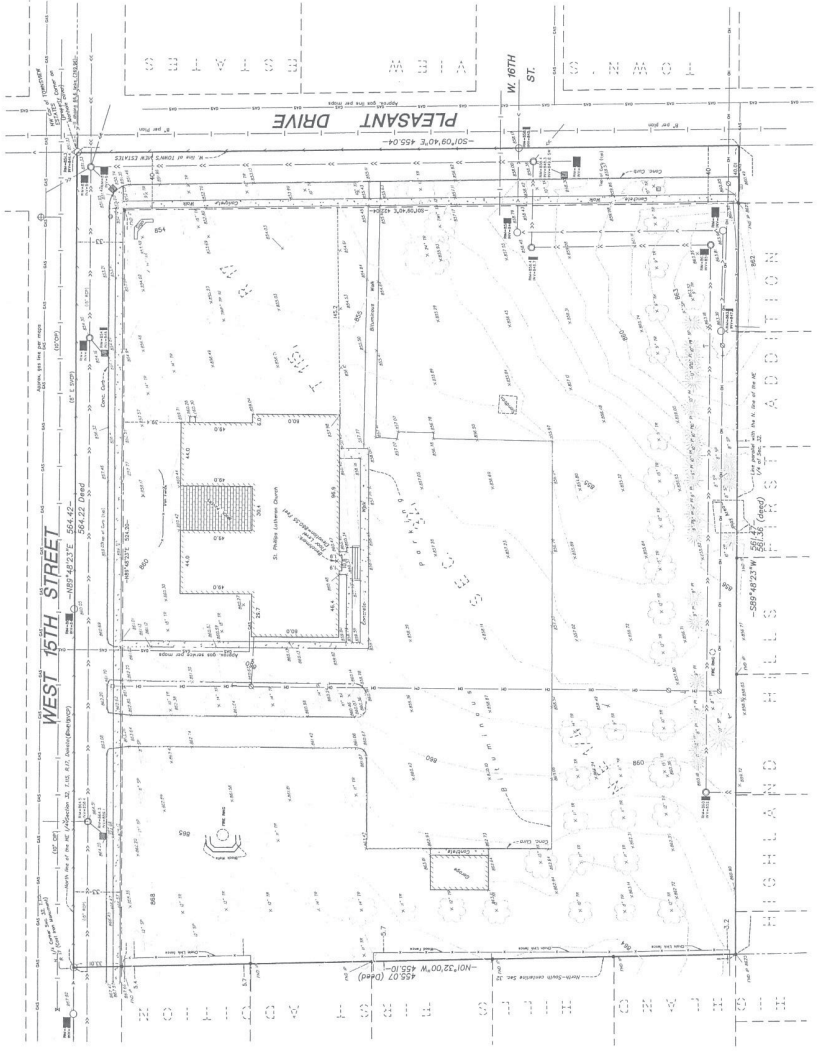
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CALL BEFORE YOU DIG  
Copher State One Call  
TOLL FREE 800-552-4444



WARNING:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL  
UTILITIES PRIOR TO THE START OF CONSTRUCTION. COMPANIES IN  
ADVANCE OF THE PROJECT SHALL BE CONTACTED BY THE CONTRACTOR TO  
OBTAIN THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL  
MAINTAIN THEIR SERVICE AND/OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT COPHER STATE ONE CALL AT 800-552-4444  
AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND  
UTILITIES. IF THE CONTRACTOR IS UNABLE TO OBTAIN THE LOCATION OF  
UTILITIES PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL  
REPAIR OR REPLACE ANY UTILITIES DAMAGED DURING CONSTRUCTION AT  
THEIR OWNERS RISK.



BENCHMARK  
FLOOR ELEVATION AT THE SOUTH ENTRANCE OF ST.  
ELEVATION = 868.55 FEET

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LARGER CONSTRUCTION

LOUCKS ASSOCIATES  
Planning, Civil, Structural, Mechanical & Electrical Engineering  
5000 Grand Avenue, Suite 100  
St. Paul, MN 55122

CONTRACTOR SERVICES  
ARCHITECT: [Blank]  
STRUCTURAL: [Blank]  
MECHANICAL: [Blank]  
ELECTRICAL: [Blank]  
PLUMBING: [Blank]  
HVAC: [Blank]  
SPECIALTIES: [Blank]

PROJECT INFORMATION  
PROJECT NO.: [Blank]  
DATE: [Blank]  
SCALE: [Blank]

PROPERTY INFORMATION  
OWNER: [Blank]  
LOCATION: [Blank]  
ADJACENT PROPERTIES: [Blank]  
REMARKS: [Blank]

REVISIONS  
NO. DATE DESCRIPTION  
1. [Blank] [Blank] [Blank]

PROJECT LOCATION  
ADDRESS: [Blank]  
CITY: [Blank] STATE: [Blank] ZIP: [Blank]

DEMOLITION PLAN  
DATE: [Blank]  
SCALE: [Blank]

CALL BEFORE YOU DIG  
Copier State One Call  
TOLL FREE: 1-800-368-3888



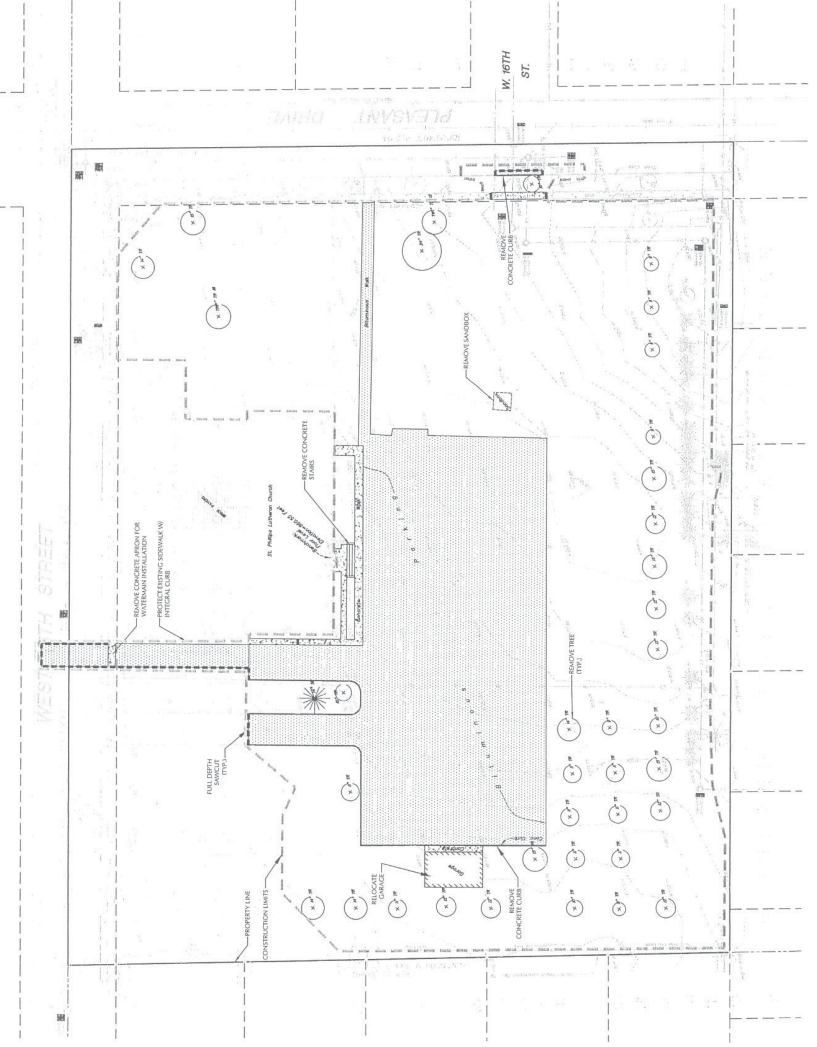
SYMBOL	DESCRIPTION
(Symbol)	CONSTRUCTION LIMITS
(Symbol)	REMOVE CONCRETE SLABWORK
(Symbol)	REMOVE BRICKWORK
(Symbol)	REMOVE PAVEMENT
(Symbol)	REMOVE ALL BUILDINGS TO BE DEMOLISHED

SITE DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE CITY AND STATE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING TRAFFIC CONTROL DEVICES, SIGNAGE, AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED BY THE CITY AND STATE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE CITY AND STATE.
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- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE CITY AND STATE.

WARNING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL UTILITIES PRIOR TO ANY DEMOLITION WORK.

BENCHMARK: FLOOR ELEVATION AT THE SOUTH ENTRANCE OF ST. PHILIP'S LUTHERAN CHURCH IS 45.75 FEET.







PROJECT NAME:  
**St. Philip's  
 Lutheran Church**



ADDRESS:  
 Hastings, Minnesota  
 Larger Construction  
 54 E. Broadway Ave.  
 St. Paul, MN 55118



DESIGNER:  
**LOCKES ASSOCIATES**

Lockes Associates, Inc.  
 7700 Lyndale Ave. S., Suite 100  
 Minneapolis, MN 55425  
 Phone: 763-433-1100  
 Fax: 763-433-1101  
 www.lockesassociates.com

PROJECT NO.	10000000000000000000
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DESIGNED BY	MM
CHECKED BY	MM
DATE	07/10/17
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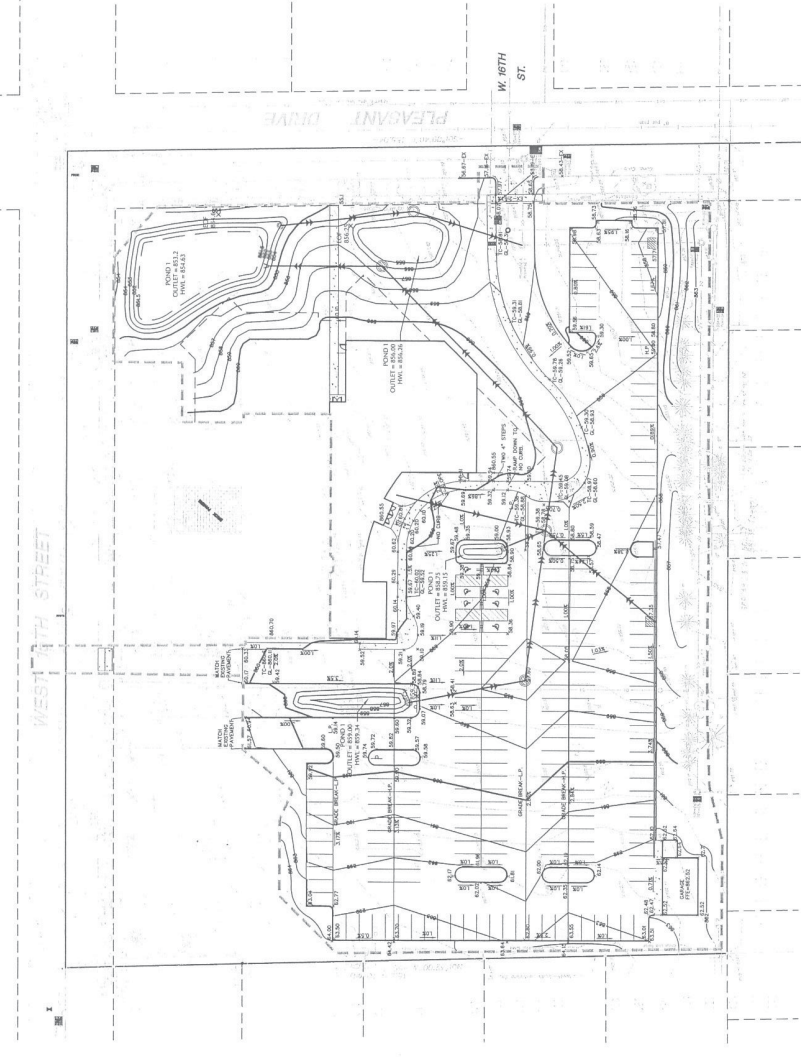
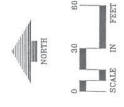
CALL BEFORE YOU DIG  
**Gopher State One Call**  
 1-800-487-4669  
 1-800-487-4669



- GRADING, DRAINAGE & EROSION CONTROL NOTES**
1. ALL DISTURBED UNIMPAVED AREAS ARE TO BE RECOVERED WITH A MINIMUM OF 4" INCHES OF TOP SOIL AND 2" OF SUBSOIL. THESE AREAS SHALL BE RECOVERED WITHIN 30 DAYS OF THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS CONE TRAFFIC CONTROL, TRAFFIC CONTROL PLAN FOR STREET AND APPROVAL BY THE CITY. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  4. ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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  7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND STRUCTURES AS REQUIRED BY THE CITY.

**WARNING:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

**BENCHMARK:**  
 BENCHMARK ELEVATION OF ST. PHILIP'S CHURCH IS 860.55 FEET.





CALL BEFORE YOU DIG  
 Gopher State One Call  
 800 455-4545  
 1-800-455-4545

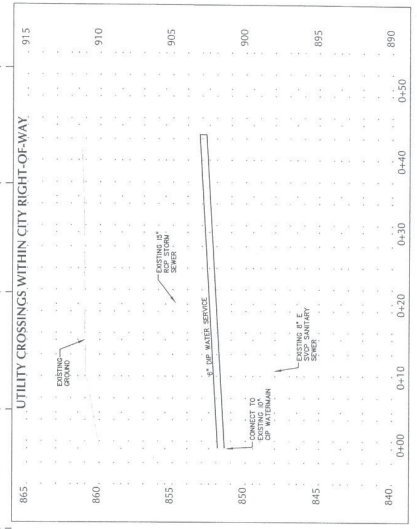
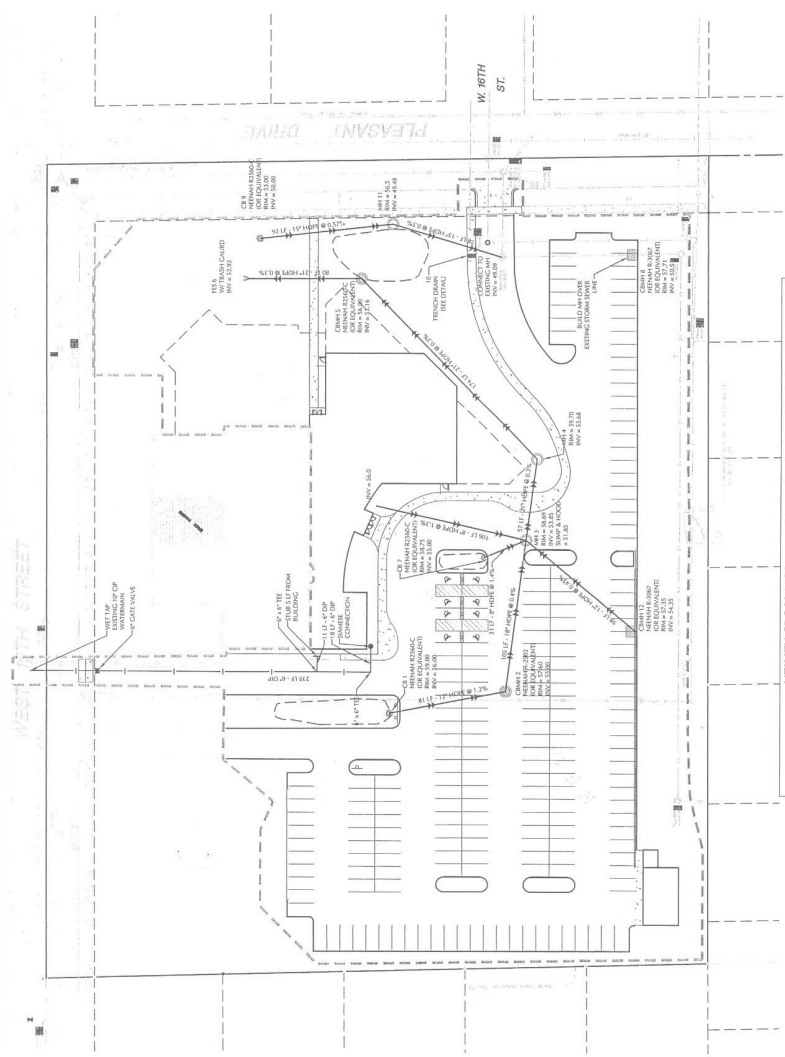


**SYMBOLS**

○	OPENING
□	CONCRETE
▢	ASPHALT
▨	PAVEMENT
▩	GRAVEL
▧	ROCK
▦	CONCRETE
▥	ASPHALT
▤	PAVEMENT
▣	GRAVEL
▢	ROCK
□	CONCRETE
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▉	ROCK
█	CONCRETE
▇	ASPHALT
▆	PAVEMENT
▅	GRAVEL
▄	ROCK
▃	CONCRETE
▂	ASPHALT
▁	PAVEMENT

- UTILITY PLAN NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  3. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  4. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  5. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  6. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  7. ALL NEW WATERMAIN MUST HAVE A MINIMUM OF 48 INCHES OF COVER.
  8. ALL UTILITIES SHALL BE COMPACTED AND/OR COVERED WITH GRANULAR MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  9. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.
  10. THE CONTRACTOR SHALL STAMP AND SIGN ALL WORK ON THE FACE OF ANY NEWLY POURED CURB WHEN IT IS DIRECTLY OVER THE LOCATION OF ANY EXISTING SEWER AND WATER SERVICES.
  11. THE CONTRACTOR SHALL STAMP AND SIGN ALL WORK ON THE FACE OF ANY NEWLY POURED CURB WHEN IT IS DIRECTLY OVER THE LOCATION OF ANY EXISTING SEWER AND WATER SERVICES.

**WARNING:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE DEPARTMENTS AND AGENCIES INVOLVED IN THE PROJECT.





**STANDARD DETAILS**  
**HEAVY DUTY**

NOTE: 10-#10 REBAR TO BE PLACED WITH 1/2" GAP TO CONCRETE. 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF POST.

**STANDARD DETAILS**  
**CONCRETE ENTRANCE**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

**STANDARD DETAILS**  
**CONCRETE WALKWAY**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

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**CONCRETE WALKWAY AREA**

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**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

PROJECT NO.	DATE
DESCRIPTION	BY
REVISIONS	CHECKED
DATE	BY
SCALE	DATE
PROJECT NO.	DATE
DESCRIPTION	BY
REVISIONS	CHECKED
DATE	BY
SCALE	DATE

**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

**STANDARD DETAILS**  
**CONCRETE WALKWAY AREA**

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NOTE: 1/2" GAP TO BE MAINTAINED THROUGHOUT ENTIRE LENGTH OF CONCRETE.

St. Philip's  
Lutheran Church



Hastings, Minnesota

Langer Construction  
15000 Highway 101  
St. Paul, MN 55118



**LOUCKS ASSOCIATES**

Planning • Civil Engineering • Land Surveying  
15000 Highway 101, Suite 200  
St. Paul, MN 55118  
612.755.1100  
www.loucks.com

**REGISTERED PROFESSIONALS**  
Professional Engineer License No. 0000000000  
Professional Surveyor License No. 0000000000  
Professional Land Surveyor License No. 0000000000  
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Professional Surveyor License No. 0000000000  
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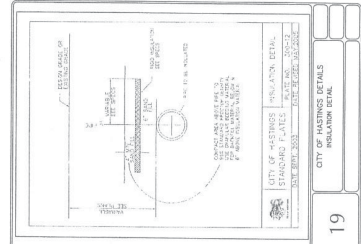
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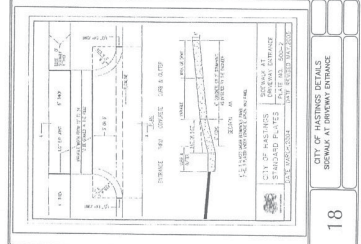
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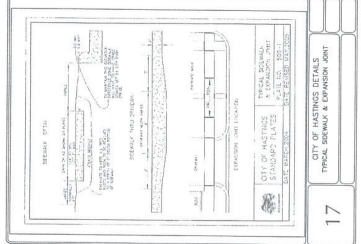
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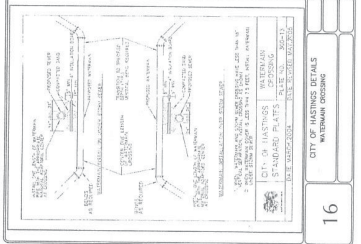
16 CITY OF HASTINGS WATERMAIN CROSSING



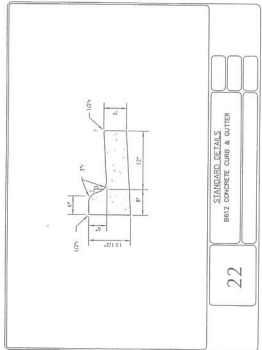
17 CITY OF HASTINGS TYPICAL SINKING & EXPANSION JOINT



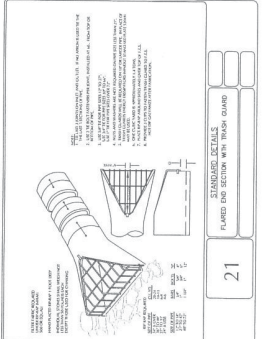
18 CITY OF HASTINGS STANDARD PLATES SINKING AT DRIVEWAY ENTRANCE



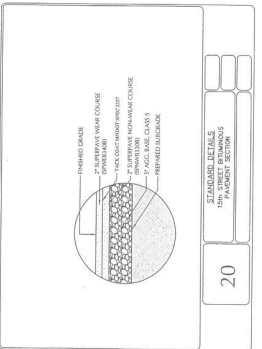
19 CITY OF HASTINGS INFLATION DETAIL



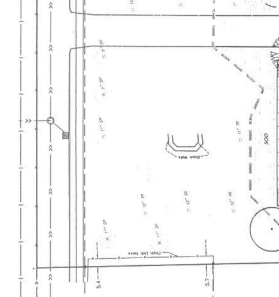
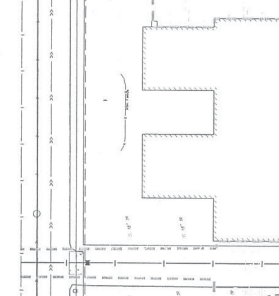
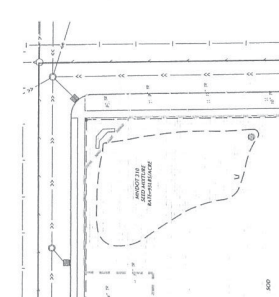
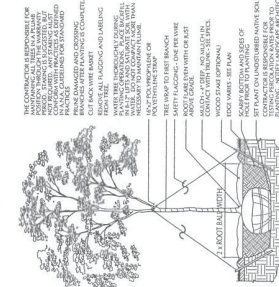
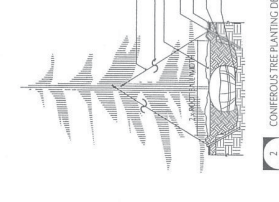
20 STANDARD DETAILS PLANTING SECTION



21 STANDARD DETAILS FLARED DIS SECTION WITH TRASH GUARD



22 STANDARD DETAILS BR22 CONCRETE CURB & OTHER



**1** DECIDUOUS TREE PLANTING DETAIL  
 1/4" = 1'-0"

**2** CONIFEROUS TREE PLANTING DETAIL  
 1/4" = 1'-0"

**3** PERENNIAL PLANTING DETAIL  
 1/4" = 1'-0"

**4** SHRUB PLANTING DETAIL  
 1/4" = 1'-0"

CONTRACTOR TO PROVIDE ALL MATERIALS AND LABOR FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE PERMANENT PLANTING. ALL PLANTS TO BE INSTALLED AS SHOWN ON THIS PLAN AND TO BE MAINTAINED FOR THE FIRST YEAR AFTER INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ALL EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING.

**LANDSCAPE INSTALLATION:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE PERMANENT PLANTING. ALL PLANTS TO BE INSTALLED AS SHOWN ON THIS PLAN AND TO BE MAINTAINED FOR THE FIRST YEAR AFTER INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ALL EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING.

**LANDSCAPE SCHEDULE:**

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
OR	1	ORIENTAL TREES	SEEDS TREES PLANT	1'-0" CAL	BBS	SINGLE STEM
SS	2	SPRING SNOW CRABAPPLE	Malus x Sorbus Snow	1'-0" CAL	BBS	SINGLE STEM
EV	1	EVERGREEN TREES	PIRENEA GINSENG SPRUCE	8" HST	BBS	FULL FORM
DC	10	DECIDUOUS SHRUBS	COMUS SPICATUS	24" HGT	POT	PLANT 2 O.C.
BL	10	BLACK BERRY SWEET WOOD	Rubus coccineus	1'-0" CAL	POT	PLANT 2 O.C.
FS	38	FIRE LIGHT SPREAR	SPINA x FIRE LIGHT	24" HGT	POT	PLANT 2 O.C.
BJ	1	BLUE STAR JAMPER	JUNIPERO SPINOSA BLUE STAR	18" SPHRO	POT	PLANT 2 O.C.
WJ	2	WINE JULEP JAMPER	JUNIPERO SPINOSA WINE JULEP	18" SPHRO	POT	PLANT 2 O.C.
BS	49	BLACK EYED SUSAN	RUBICOLA ELEGANS GARDEN	1' CAL	POT	PLANT 2 O.C.
RD	38	RED SUNSET MAPLE	ACER RUBROSUM	1'0"	POT	PLANT 2 O.C.
SD	29	STELLA SUPREME DAYLILY	HEMERICALLIS x STELLA SUPREME	1'0"	POT	PLANT 2 O.C.

**LANDSCAPE TOTALS:**

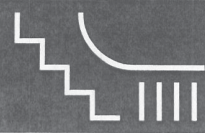
REQUIREMENTS	REQUIREMENTS	REQUIREMENTS	REQUIREMENTS
20	REQUIRED TREES FOR PARKING	91	TOTAL REQUIRED TREES
41	REQUIRED TREES (SITE PERIMETER OF 2055LF / 50)	24	EXISTING DECIDUOUS TREES TO REMAIN
91	TOTAL REQUIRED TREES	38	NEW DECIDUOUS TREES
24	EXISTING DECIDUOUS TREES TO REMAIN	6	NEW ORNAMENTAL TREES
38	NEW DECIDUOUS TREES	109	TOTAL PROVIDED TREES
6	NEW ORNAMENTAL TREES	51	TOTAL REQUIRED SHRUBS
109	TOTAL PROVIDED TREES	60	NEW DECIDUOUS SHRUBS
51	TOTAL REQUIRED SHRUBS	119	TOTAL PROVIDED SHRUBS
60	NEW DECIDUOUS SHRUBS		
119	TOTAL PROVIDED SHRUBS		

**TREE MITIGATION SCHEDULE:**

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
RR	1	RED SUNSET MAPLE	ACER RUBROSUM	3" CAL	BBS	SINGLE STEM
SM	20	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL	BBS	SINGLE STEM
EV	1	EVERGREEN TREES	PIRENEA GINSENG SPRUCE	10" HGT	BBS	FULL FORM







**STATION  
NINETEEN**  
Architects - Incorporated

200 UNIVERSITY  
AVENUE, SUITE 100  
MINNEAPOLIS, MN 55401  
PHONE (612) 623-1800  
FAX (612) 623-0002

1. I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
MINNESOTA

**NOT FOR CONSTRUCTION**

PROJECT NUMBER: 4327  
PROJECT NAME: ST. PHILIP'S LUTHERAN CHURCH  
CITY: HASTINGS, MINNESOTA  
ARCHITECT: NICOLE THOMPSON  
DATE: 14 MARCH 2012  
DRAWN BY: [blank]  
CHECKED BY: [blank]

No.	Date	Issue	Revised	Notes
1	4/17/12	ISSUE		REVISIONS

City of Hastings  
SUBMISSION  
CODE PLAN  
A0-1

**CODE REVIEW SUMMARY**  
2007 IBC STATE BUILDING CODE INCLUDING IBC 2009

CHG	DESCRIPTION OF OCCUPANCY	TYPE OF CONSTRUCTION	REQUIRED	PROVIDED
T 001	REQUIREMENTS	TYPE I, IIB	REINFORCED CONCRETE, MASONRY, BRICK, BLOCK, OR OTHER NON-BURNING WALLS AND PARTITIONS - EXTERIOR	9 IBC, 10 IBC, 11 IBC, 12 IBC, 13 IBC, 14 IBC, 15 IBC, 16 IBC, 17 IBC, 18 IBC, 19 IBC, 20 IBC, 21 IBC, 22 IBC, 23 IBC, 24 IBC, 25 IBC, 26 IBC, 27 IBC, 28 IBC, 29 IBC, 30 IBC, 31 IBC, 32 IBC, 33 IBC, 34 IBC, 35 IBC, 36 IBC, 37 IBC, 38 IBC, 39 IBC, 40 IBC, 41 IBC, 42 IBC, 43 IBC, 44 IBC, 45 IBC, 46 IBC, 47 IBC, 48 IBC, 49 IBC, 50 IBC, 51 IBC, 52 IBC, 53 IBC, 54 IBC, 55 IBC, 56 IBC, 57 IBC, 58 IBC, 59 IBC, 60 IBC, 61 IBC, 62 IBC, 63 IBC, 64 IBC, 65 IBC, 66 IBC, 67 IBC, 68 IBC, 69 IBC, 70 IBC, 71 IBC, 72 IBC, 73 IBC, 74 IBC, 75 IBC, 76 IBC, 77 IBC, 78 IBC, 79 IBC, 80 IBC, 81 IBC, 82 IBC, 83 IBC, 84 IBC, 85 IBC, 86 IBC, 87 IBC, 88 IBC, 89 IBC, 90 IBC, 91 IBC, 92 IBC, 93 IBC, 94 IBC, 95 IBC, 96 IBC, 97 IBC, 98 IBC, 99 IBC, 100 IBC

**PLUMBING REVIEW SUMMARY**  
2009 IBC STATE BUILDING CODE INCLUDING IBC 2009

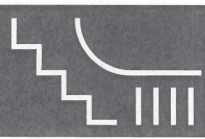
CHG	MINIMUM NUMBER OF PLUMBING FIXTURES	TYPE OF CONSTRUCTION	REQUIRED	PROVIDED
T 001	REQUIREMENTS	TYPE I, IIB	REINFORCED CONCRETE, MASONRY, BRICK, BLOCK, OR OTHER NON-BURNING WALLS AND PARTITIONS - EXTERIOR	9 IBC, 10 IBC, 11 IBC, 12 IBC, 13 IBC, 14 IBC, 15 IBC, 16 IBC, 17 IBC, 18 IBC, 19 IBC, 20 IBC, 21 IBC, 22 IBC, 23 IBC, 24 IBC, 25 IBC, 26 IBC, 27 IBC, 28 IBC, 29 IBC, 30 IBC, 31 IBC, 32 IBC, 33 IBC, 34 IBC, 35 IBC, 36 IBC, 37 IBC, 38 IBC, 39 IBC, 40 IBC, 41 IBC, 42 IBC, 43 IBC, 44 IBC, 45 IBC, 46 IBC, 47 IBC, 48 IBC, 49 IBC, 50 IBC, 51 IBC, 52 IBC, 53 IBC, 54 IBC, 55 IBC, 56 IBC, 57 IBC, 58 IBC, 59 IBC, 60 IBC, 61 IBC, 62 IBC, 63 IBC, 64 IBC, 65 IBC, 66 IBC, 67 IBC, 68 IBC, 69 IBC, 70 IBC, 71 IBC, 72 IBC, 73 IBC, 74 IBC, 75 IBC, 76 IBC, 77 IBC, 78 IBC, 79 IBC, 80 IBC, 81 IBC, 82 IBC, 83 IBC, 84 IBC, 85 IBC, 86 IBC, 87 IBC, 88 IBC, 89 IBC, 90 IBC, 91 IBC, 92 IBC, 93 IBC, 94 IBC, 95 IBC, 96 IBC, 97 IBC, 98 IBC, 99 IBC, 100 IBC

**REQUIRED EXIT WIDTH SUMMARY**  
2007 IBC STATE BUILDING CODE INCLUDING IBC 2009

CHG	MINIMUM EXIT WIDTH	TYPE OF CONSTRUCTION	REQUIRED	PROVIDED
T 001	REQUIREMENTS	TYPE I, IIB	REINFORCED CONCRETE, MASONRY, BRICK, BLOCK, OR OTHER NON-BURNING WALLS AND PARTITIONS - EXTERIOR	9 IBC, 10 IBC, 11 IBC, 12 IBC, 13 IBC, 14 IBC, 15 IBC, 16 IBC, 17 IBC, 18 IBC, 19 IBC, 20 IBC, 21 IBC, 22 IBC, 23 IBC, 24 IBC, 25 IBC, 26 IBC, 27 IBC, 28 IBC, 29 IBC, 30 IBC, 31 IBC, 32 IBC, 33 IBC, 34 IBC, 35 IBC, 36 IBC, 37 IBC, 38 IBC, 39 IBC, 40 IBC, 41 IBC, 42 IBC, 43 IBC, 44 IBC, 45 IBC, 46 IBC, 47 IBC, 48 IBC, 49 IBC, 50 IBC, 51 IBC, 52 IBC, 53 IBC, 54 IBC, 55 IBC, 56 IBC, 57 IBC, 58 IBC, 59 IBC, 60 IBC, 61 IBC, 62 IBC, 63 IBC, 64 IBC, 65 IBC, 66 IBC, 67 IBC, 68 IBC, 69 IBC, 70 IBC, 71 IBC, 72 IBC, 73 IBC, 74 IBC, 75 IBC, 76 IBC, 77 IBC, 78 IBC, 79 IBC, 80 IBC, 81 IBC, 82 IBC, 83 IBC, 84 IBC, 85 IBC, 86 IBC, 87 IBC, 88 IBC, 89 IBC, 90 IBC, 91 IBC, 92 IBC, 93 IBC, 94 IBC, 95 IBC, 96 IBC, 97 IBC, 98 IBC, 99 IBC, 100 IBC



City of Hastings  
SUBMISSION  
CODE PLAN  
A0-1

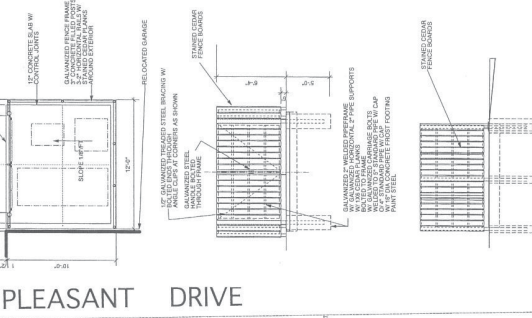
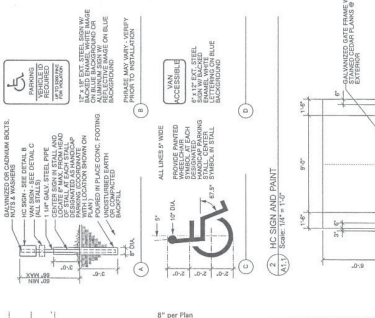


**STATION NINETEEN**  
Architects - incorporated  
2001 UNIVERSITY AVENUE  
SUITE 100  
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PHONE (612) 832-1100  
FAX (612) 832-8072

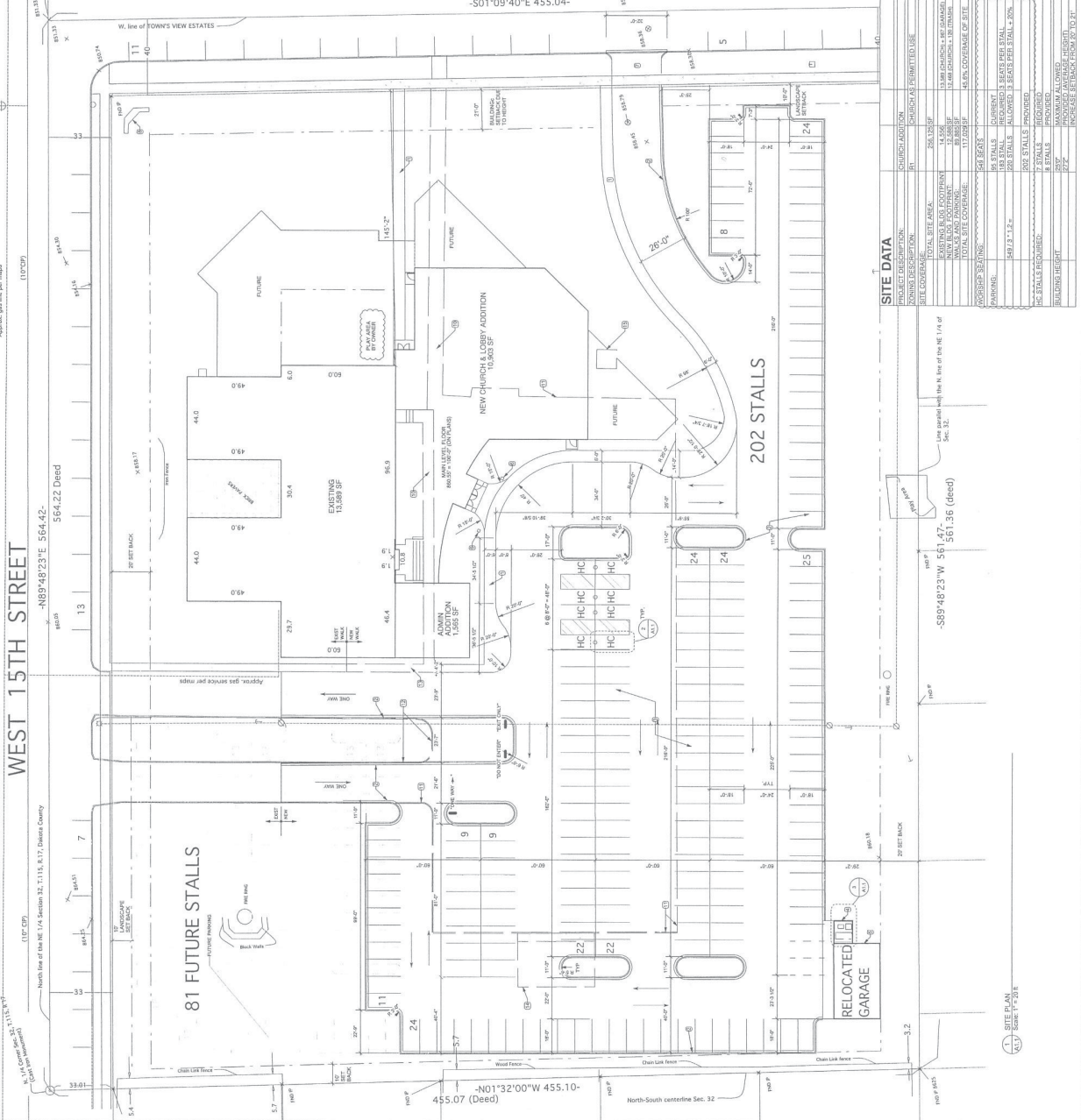
MINNESOTA  
Having duly read the data, conditions and other things hereon contained, we, the undersigned, do hereby certify that the above is a true and correct copy of the same as of the date of this plan.

MINNESOTA  
Project Number: 4327  
Project Name: ST. PHILIP'S LUTHERAN CHURCH  
City: HASTINGS  
County: MINNESOTA  
Scale: 1" = 10'-0"

No.	Date	Revised Notes
1	1/15/12	ISSUED FOR PERMITS



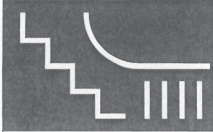
**GENERAL SITE DEMO NOTES**  
1. FIELD UPON DEMOLITION SHALL BE CLEANED, AND STORMS FOR ADDITIONAL DEMOLITION NOTES.  
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT.  
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT.  
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10. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT.



**SITE DATA**

NO.	DESCRIPTION	REMARKS
1	EXISTING BUILDING FOOTPRINT	11,500 SF
2	NEW CHURCH - NEW GARAGE	11,500 SF
3	NEW CHURCH - NEW GARAGE	11,500 SF
4	NEW CHURCH - NEW GARAGE	11,500 SF
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77	NEW CHURCH - NEW GARAGE	11,500 SF
78	NEW CHURCH - NEW GARAGE	11,500 SF
79	NEW CHURCH - NEW GARAGE	11,500 SF
80	NEW CHURCH - NEW GARAGE	11,500 SF
81	NEW CHURCH - NEW GARAGE	11,500 SF
82	NEW CHURCH - NEW GARAGE	11,500 SF
83	NEW CHURCH - NEW GARAGE	11,500 SF
84	NEW CHURCH - NEW GARAGE	11,500 SF
85	NEW CHURCH - NEW GARAGE	11,500 SF
86	NEW CHURCH - NEW GARAGE	11,500 SF
87	NEW CHURCH - NEW GARAGE	11,500 SF
88	NEW CHURCH - NEW GARAGE	11,500 SF
89	NEW CHURCH - NEW GARAGE	11,500 SF
90	NEW CHURCH - NEW GARAGE	11,500 SF
91	NEW CHURCH - NEW GARAGE	11,500 SF
92	NEW CHURCH - NEW GARAGE	11,500 SF
93	NEW CHURCH - NEW GARAGE	11,500 SF
94	NEW CHURCH - NEW GARAGE	11,500 SF
95	NEW CHURCH - NEW GARAGE	11,500 SF
96	NEW CHURCH - NEW GARAGE	11,500 SF
97	NEW CHURCH - NEW GARAGE	11,500 SF
98	NEW CHURCH - NEW GARAGE	11,500 SF
99	NEW CHURCH - NEW GARAGE	11,500 SF
100	NEW CHURCH - NEW GARAGE	11,500 SF

SITE PLAN  
Scale: 1" = 20'-0"



**STATION  
NINETEEN**  
Architects - Incorporated

3001 UNIVERSITY AVENUE  
SUITE 100  
MINNEAPOLIS, MN 55414  
PHONE: 612.521.1900  
FAX: 612.521.1917

I hereby certify that this data, information and drawings were prepared by me or under my direct supervision and that I am a duly registered professional architect in the State of Minnesota.

MINNESOTA

**NOT FOR CONSTRUCTION**

ARCHITECT: **STATION NINETEEN**  
PROJECT NO.: **4327**  
DATE: **11 APRIL 2013**  
DRAWN BY: **DL**  
CHECKED BY: **DL**  
PROJECT NAME: **ST. PHILIP'S LUTHERAN CHURCH**

PROJECT NO.: **4327**  
PROJECT NAME: **ST. PHILIP'S LUTHERAN CHURCH**  
CITY: **HASTINGS**  
STATE: **MINNESOTA**

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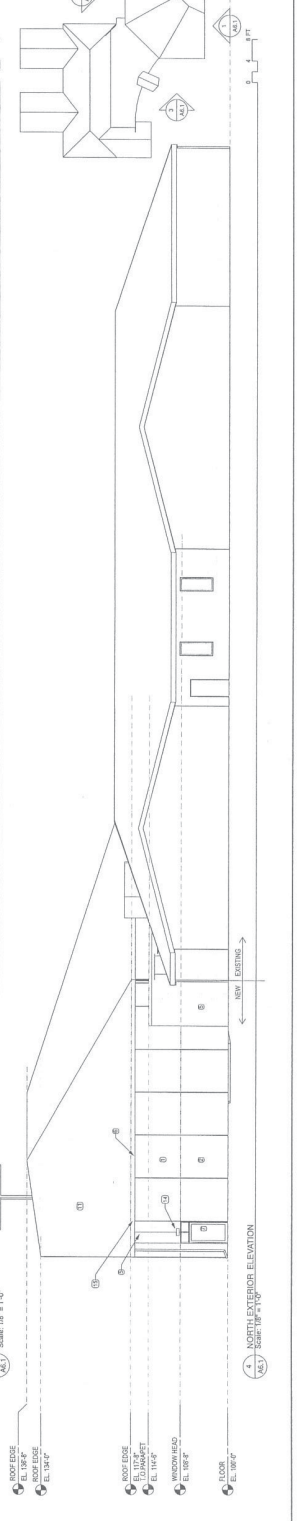
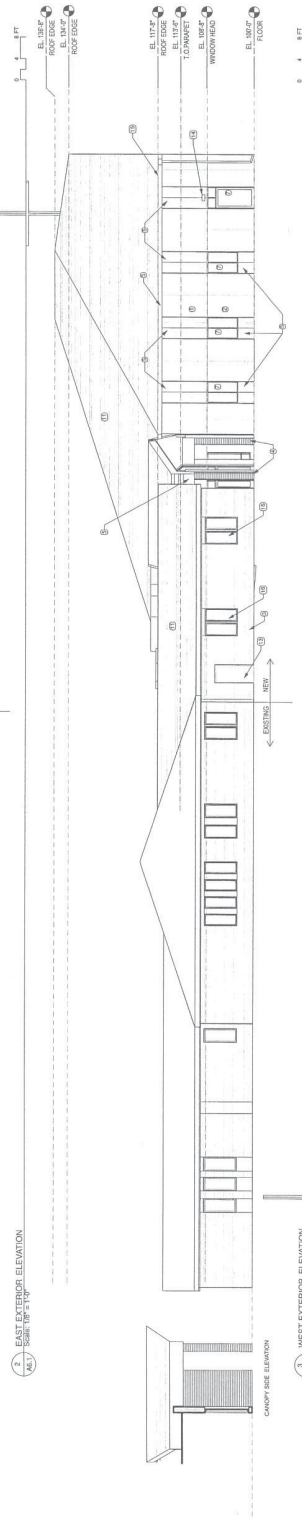
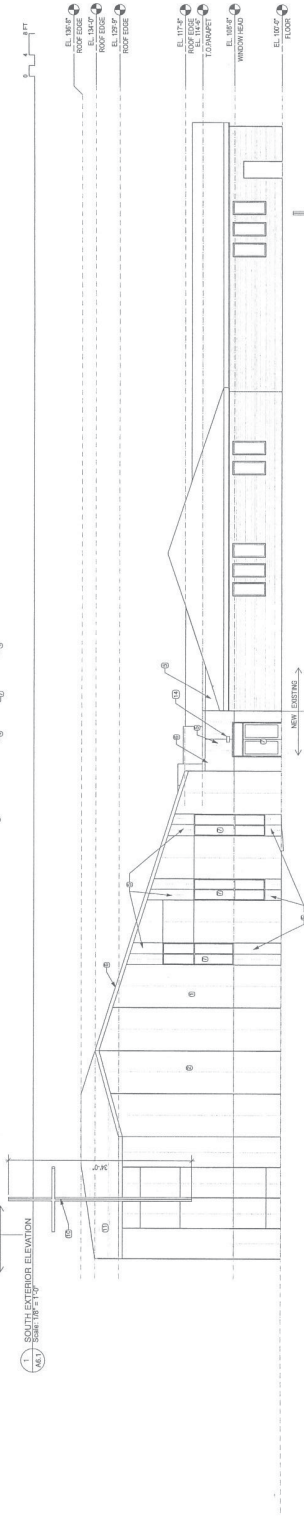
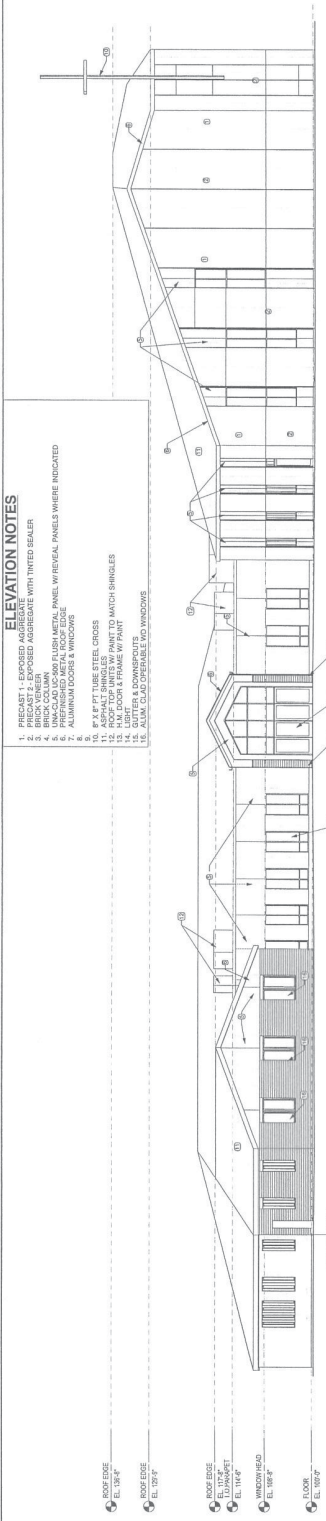
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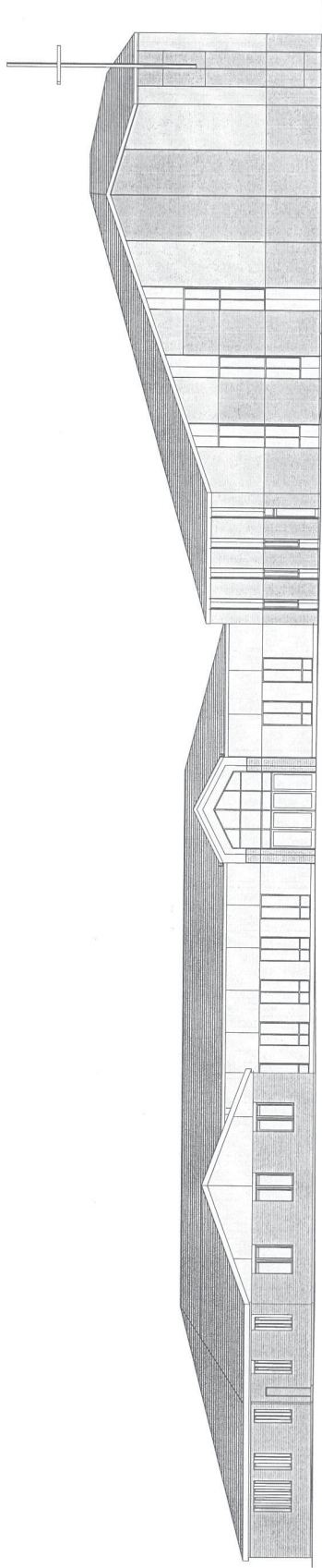
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MINNESOTA

- ELEVATION NOTES**
1. PRECAST - EXPOSED AGGREGATE
  2. BRICK VENEER
  3. BRICK VENEER
  4. HANGBOARD FLASH METAL PANEL W/ REVEAL PANELS WHERE INDICATED
  5. ALUMINUM DOORS & WINDOWS
  6. ALUMINUM DOORS & WINDOWS
  7. ALUMINUM DOORS & WINDOWS
  8. ALUMINUM DOORS & WINDOWS
  9. ALUMINUM DOORS & WINDOWS
  10. ALUMINUM DOORS & WINDOWS
  11. ASPHALT DRINGLES
  12. ASPHALT DRINGLES
  13. MATCH BRICKS
  14. GUTTER & DOWNSPOUTS
  15. ALUM. GLAZ OPERABLE W/D WINDOWS



A6.1



4327  
17 APRIL 2012  
CITY SUBMISSION

SOUTH ELEVATION  
ST. PHILLIPS  
HASTINGS  
MINNESOTA



