



Planning Commission Memorandum

To: Planning Commission

From: John Hinzman, Community Development Director

Date: September 28, 2015

Item: Confluence Development – Conceptual Plan Review #2015-29 – Great Rivers Landing (Hudson Building) – 200 West 2nd Street.

PLANNING COMMISSION ACTION REQUESTED:

The Planning Commission is to review the initial plans for Great Rivers Landing by Confluence Development. Plans include rehabilitation of the former Hudson Manufacturing Facility located at 200 West 2nd Street into housing and commercial uses. Review will provide additional context for the development including future land use considerations and provide Commissioners the opportunity to provide initial input.

HISTORY

Redevelopment of the Hudson Site has been a long term objective. Recent events include:

- **Reshaping the Mississippi Riverfront** - Over the past 30 years, the City of Hastings has prioritized the removal of industrial activities from the downtown riverfront. The 2003 Heart of Hastings Plan further detailed redevelopment aspirations of the Hudson Site, calling for rehabilitation of the historic portions of the building for a mixed residential commercial development.
- **Hastings Bridge Project** - Partial acquisition and demolition of the property as part of the TH 61 Mississippi River Bridge Project significantly altered Hudson's ability to continue operations at its current site. MN DOT funding for partial purchase and Hudson's desire to relocate its operations provided a unique opportunity to purchase the site for redevelopment.
- **HEDRA Purchase of the Hudson Site** - The Hastings Economic Development and Redevelopment Authority (HEDRA) purchased the site in December, 2010 for \$3.0 million. \$2.855 million was financed through limited tax obligation bonds paid through HEDRA's annual levy. A \$250,000 Redevelopment Incentive Grant (RIG) from the Dakota County Community Development Agency (CDA) also assisted in purchasing the building.

- **Reuse Study – Preserve as a Mixed Use Development** - Upon purchase of the building, the City and HEDRA further studied potential redevelopment options for the building. As part of historic mitigation for the bridge project, MN DOT funded a reuse study of the Hudson Building. Stark Preservation Planning completed the report in 2011 and recommended rehabilitation of all areas of the building constructed before 1945. Findings of the reuse study were consistent with the overwhelming response by citizens and neighbors to preserve and reuse the building as a mixed use facility.
- **Environmental Investigation and Cleanup** – Phase I and II Environmental Reviews have been completed. The Minnesota Pollution Control Agency (MPCA) has approved our Response Action Plan (RAP) for environmental cleanup. Partial soil remediation, and asbestos\hazardous materials abatement have begun. To date, all environmental review and cleanup expenses have been fully paid through grant dollars.
- **Nearly \$3 Million in Grant Funding Received to Date** – The City has received 17 grants totaling \$2.9 million to assist in site acquisition, environmental review, environmental cleanup, planning, and site development.

Please see the attached Historic Redevelopment Timeframe for further information.

Confluence Development

Beginning in 2012, HEDRA reviewed several concepts for redevelopment from a variety of development firms. Confluence Development, LLC a partnership between Pat Reagan (Hastings Bus Company, Premier Banks, and Schoolhouse Square) and Bill Weyland of Louisville, Kentucky based City Properties (developer of many historic mixed use projects in Louisville) was chosen as the preferred developer. Confluence was chosen based upon its extensive historical rehabilitation experience, riverfront development successes, and concept for a mixed use development. HEDRA and Confluence entered into a Preliminary Development Agreement for the site in January 2014.

PROPOSAL

Great Rivers Landing Development – Hudson Manufacturing

Confluence Development proposes to transform the Hudson facility into Great River Landing, a mixed use rehabilitation of the remaining Hudson Building to consist of:

- 62 apartment units
- Gallery\Art Space
- Retail
- Restaurant
- Events Space
- River Outfitter

Phase II Development – 1st National Bank

Confluence has also purchased the former 1st National Bank Building located at 119 2nd Street West (across 2nd Street from Hudson) for inclusion as a Phase II of the development. Preliminary plans include construction of a hotel or construction of additional parking for the entire Great Rivers Landing.

BACKGROUND

Existing Condition

The 3.8 acre site consists of seven parcels owned by the HEDRA containing a 100,000 s.f. two story manufacturing building formerly owned and operated by Hudson Manufacturing. The existing building was constructed in a series of phases between 1909 and 1945. The site is eligible for placement on the Historic Register. Site designation is planned as part of the development. The Mississippi River Trail traverses the property's north end.

Comprehensive Plan Classification

The site is designated as "Mixed Use" in the 2030 Hastings Comprehensive Plan. Site development is consistent with the Plan.

Zoning Classification

The site is zoned DC – Downtown Core. The DC district allows for a mixture of both residential and commercial uses.

Adjacent Zoning and Land Use

The following land uses abut the site

| | Existing Use | Zoning | Comprehensive Plan |
|-------|---|---|------------------------------------|
| North | Mississippi River | | |
| East | TH 61 Bridge Bella Vista Restaurant | C-3 Community Regional Commerce | Mixed Use |
| South | 2 nd Street W 1 st National Bank Residences | C-3 Community Regional Commerce R-2 Medium Density Residence | Mixed Use Low Density Resident. |
| West | Lock and Dam Road Residences | R-2 Medium Density Residence | Low Density Resident. |

Future Land Use Approvals

The following land use approvals will be required for the development:

- Preliminary and Final Plat
- Site Plan
- Special Use Permit – 1st Floor Residential in the DC Zoning District
- Special Use Permit – Shoreland Ordinance – multiple family building exceeding five units.
- Special Use Permit – Shoreland Ordinance – Impervious Surface Exceeding 25%
- Special Use Permit – Shoreland Ordinance – Movement of over 50 cubic yards in the Shoreland Impact Zone.

INITIAL PLAN REVIEW

Streets

No new public streets. All access drives would be privately owned and maintained.

Park Land Dedication

Park land dedication is required. Physical land dedication or cash in lieu of dedication may be considered. The Park and Recreation Commission will review park dedication requirements. Dedication of park land along the Mississippi Riverfront is proposed.

Minnesota Department of Transportation Review

Plans will be submitted to the Minnesota Department of Transportation for review.

Dakota County Highway Department Review

Plans will be submitted to the Dakota County Highway Department for review.

Vehicular Access and Circulation

- **Lock and Dam Road** – The existing entrance from Lock and Dam Road would be moved slightly north. The access point is acceptable.
- **2nd Street Parking Lot** – A new parking and dropoff area for the restaurant and event center is proposed from 2nd Street near the southeast corner of the building. The entrance to 2nd will need to be approved by Dakota County Highway.
- **2nd Street Courtyard**. The existing parking lot entrance from 2nd street to the center court area would be removed and replaced with a private park.

Delivery and Loading Area

A delivery and loading area is proposed near the east end of the building.

Pedestrian Access

Sidewalks and trails exist along 2nd Street, Lock and Dam Road, and the Mississippi River. The riverfront trail will be improved and may be shifted further south to better integrate with the site.

Parking

Existing parking for the proposed uses is insufficient. Additional parking may be provided as follows:

- **Parking Structure** - Convert the existing surface parking lot located near the southwest corner of the site into a structured parking facility. A \$1.5 million grant application for construction of a parking facility has been submitted to Metropolitan Council. The grant has been selected for consideration and looks very promising. Further information on the grant will be available in late October\November.
- **1st National Bank** – The 1st National Bank property can be utilized for parking under a shared parking agreement.

Architectural Elevations

Confluence is seeking Historic Tax Credits to assist in financing the project, requiring review by the State Historic Preservation Office. The building will retain its historic character and is consistent with both Zoning Architecture Standards and Heart of Hastings Design Standards.

Tree Removal

- **Riverfront** - Reconfiguration of the riverfront trail will result in the loss of trees along the Mississippi River. The trees were originally planted to serve as screening between the 1974 building addition (demolished in 2012) and the river trail. Removal of the industrial operation eliminates the need for screening; the developer desires to better connect the site to the river trail. Any removals will need to adhere to tree preservation replacement guidelines.
- **2nd Street** – Four mature shade trees currently exist near the southeast corner of the building. The two trees nearest to the building are proposed for removal, the remaining two trees near 2nd Street would remain. Removal is necessary to accommodate the proposed parking and drop-off area.

Landscape Plan

The project will include substantial landscape and park improvements aided by a \$980,000 Livable Communities Grant awarded to the City earlier this year. The developer is awaiting final determination of a similar grant for the parking facility to complete final landscape plans. The Mississippi River Trail would remain public. Park areas south of the trail would be privately owned and maintained but would be subject to an easement for public use.

Lighting Plan

A photometric lighting plan will need to be finalized.

Grading, Drainage, Erosion Control and Utility Plan

The Public Works Department will review the grading and utility plans.

ATTACHMENTS

- Location Map
- Development Plans
- Hudson Redevelopment Timeframe

LOCATION MAP

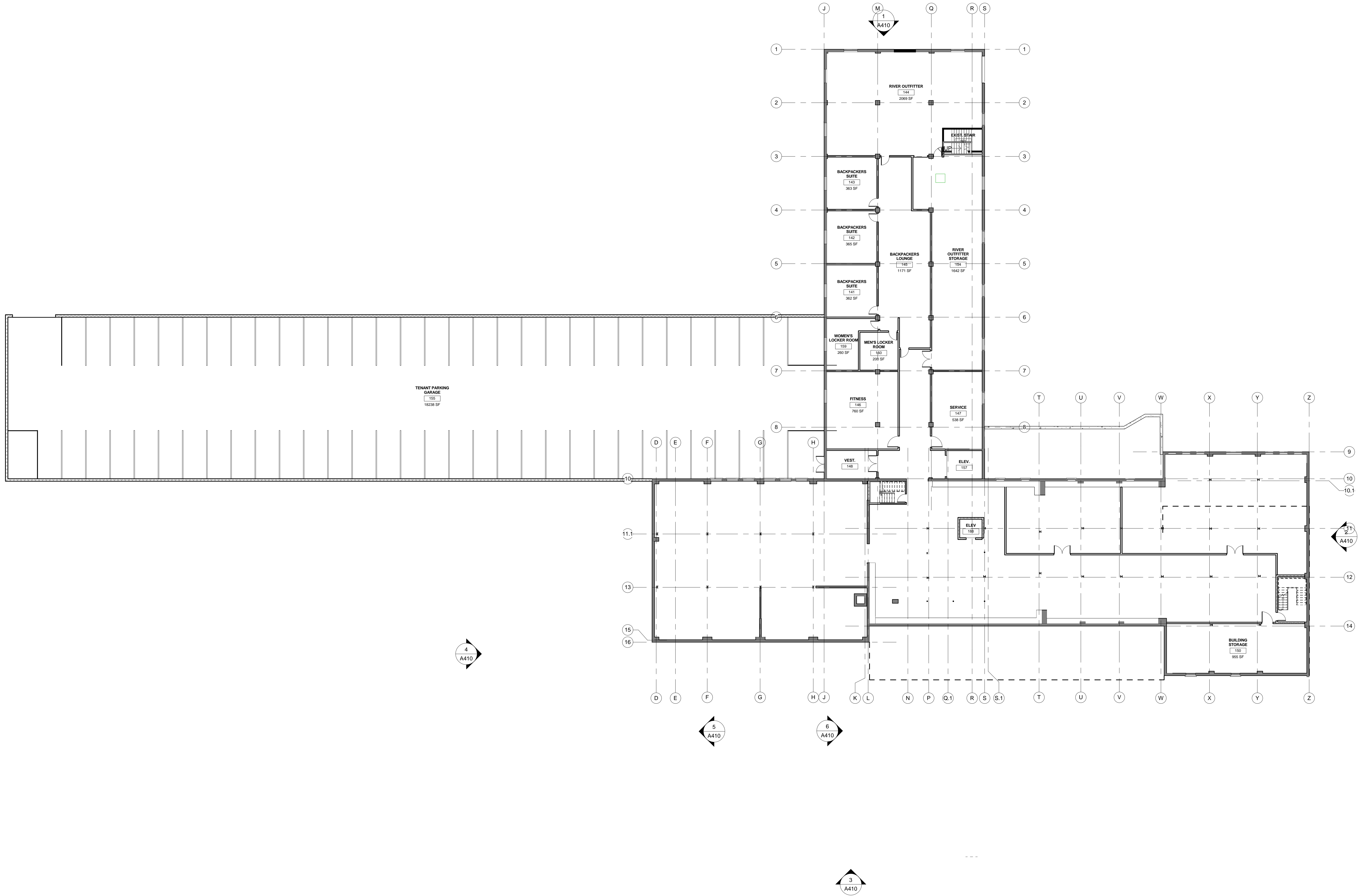


**Great River Landing - Hudson Manufacturing
Historic Redevelopment Timeline**

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| 2003 | Heart of Hastings Plan | City Council adoption of the Heart of Hastings Master Plan identifying reuse of the Hudson Manufacturing Building as a mixed use development |
| 2009 | Hastings Bridge Project Planning affects operations | Reconstruction of the TH 61 Mississippi River Bridge requires acquisition of a portion of the Hudson Building. Additional space is needed to preserve operations. |
| 2010 | Intek Building Available | Intek Manufacturing consolidates operations in Hastings. The 800 East 10 th Street building is available for sale. The building is suitable for a relocation of Hudson's operations. |
| February 2010 | \$250,000 Grant Award – Dakota CDA | City receives a Redevelopment Incentive Grant (RIG) for purchase of the Hudson Building |
| Spring 2010 | HEDRA-Hudson-Intek Negotiations | HEDRA, Hudson, and Intek discuss sale of the Intek Building to Hudson, and sale of the Hudson Building to HEDRA. |
| August 2010 | Completion of Phase I Environmental Site Assessment | Liesch completes Phase I analysis of environmental contaminants. |
| December 2010 | Hudson Purchases Intek Building | Hudson purchases the former Intek Building at 800 East 10 th Street. |
| December 2010 | HEDRA purchases Hudson Building | HEDRA purchases the Hudson Manufacturing building at 200 West 2 nd Street for \$3.0 million dollars. |
| February - December 2011 | Hudson Reuse Study | Stark Preservation Planning completes a reuse study for the building. The study included open houses and community input. Demolition of the 1974 addition is recommended with reuse of the remaining structure as a mixed use development. Cost of the study is fully paid by MN DOT |
| June 2011 | \$145,000 Grant Award – Dakota CDA | City receives RIG Funding for partial demolition of the 1974 addition and environmental cleanup. |
| July 2011 | \$50,000 Grant Award – Metropolitan Council | City receives Tax Base Revitalization Account (TBRA) funding for environmental cleanup |
| July 2011 | Hudson Fully Vacates Structure | Hudson Manufacture completes their move to 800 East 10 th Street. Building becomes vacant. |
| August 2011 | \$51,754 Grant Award – EPA – Dakota County | City received a Brownfield Assessment – Hazardous Substance Grant through Dakota County for environmental cleanup |
| April 2012 | \$110,125 Grant Award – Dakota CDA | City receives RIG funding for demolition of the 1974 addition and environmental cleanup |
| April 2012 | \$2,500 Grant Award – Dakota CDA | City receives RIG Planning funding for completion of a market study |
| April 2012 | Completion of Phase II Environmental Site Assessment | Stantec completes Phase II analysis of environmental contaminants. |

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| May 2012 | \$18,618 Grant Award EPA – Dakota County | City received a Brownfield Assessment – Petroleum Grant through Dakota County for environmental cleanup |
| May 2012 | Approval to Demolish 1974 Addition | City and HEDRA approve demolition of the 48,000 s.f. concrete tip-up addition consistent with the reuse plan. |
| September 2012 | Initial Market Assessment | Maxfield Research completes an Initial Market Assessment for Redevelopment. Development of a mix of housing, retail, office and civic uses is supported. Fully paid through grant funding. |
| December 2012 | Developer Roundtable | City and HEDRA conduct a roundtable with selected developers to determine interest in redeveloping the site. |
| March – October 2013 | Developer Concepts | HEDRA review of redevelopment concepts by The Beard Group, Sherman and Associates, Artspace, and Confluence Development |
| March 2013 | Rezoning of Property | Property is rezoned from I-1 Industrial to DC – Downtown Core |
| May 2013 | \$238,865 Grant Award – Dakota CDA | City receives RIG funding for environmental cleanup. |
| May 2013 | \$4,200 Grant Award – Dakota CDA | City receives RIG Planning funding to conduct a full market study |
| October 2013 | Demolition of 1974 Addition | Rachel Contracting completes demolition of the 48,000 s.f. addition. The total cost of \$200,000 was fully paid through grant funding. |
| November 2013 | Approval of Response Action Plan (RAP) | MPCA approval of the RAP cleanup plan for hazardous materials based on Phase II assessment. |
| December 2013 | Selection of Confluence Development | HEDRA selects Confluence Development to redevelop the Hudson site. Confluence proposes to two options for reuse of the building. Option 1 includes for residential, restaurant, banquet, art, retail space, and rooftop use of the 1945 addition. Option 2 includes all of option one, except a hotel in lieu of a portion of the housing. |
| January 2014 | Signature of Preliminary Development Agreement | HEDRA Authorizes signature of the agreement with Confluence Development. |
| June 2014 | \$93,400 Grant Award – Metropolitan Council | City receives TBRA funding for asbestos and hazardous material removal. |
| October 2014 | \$2,844 Grant Award – US EPA – Dakota County | City receives EPA Environmental Investigation funding via Dakota County for an invasive asbestos survey. |
| October – December 2014 | Contaminated Soil Removal | Rachel Contracting completes contaminated soil excavation and removal from Areas 1 and 3 of the RAP. Total cost of \$78,000 is fully paid through grant funding. |
| November 2014 | Completion of Full Market Study | Completion of Full Market Study by Maxfield and HVS. Funded through grant dollars. |
| December 2014 | Hotel Concept Eliminated | Confluence Development eliminates the hotel concept from the approval. All other mixed use items remain. |
| December 2014 | Extension of Preliminary Development Agreement | HEDRA agrees to extend the Preliminary Development Agreement until March 31, 2015. |
| December 2014 | \$256,142 Grant Award – MN DEED | City receives a Contamination Cleanup Grant for soil and vapor remediation |

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| January 2015 | \$980,000 Grant Award – Metropolitan Council | City receives Livable Communities Demonstration Account (LCDA) funding for riverfront and site amenities |
| January 2015 | \$78,000 Grant Award – Metropolitan Council | City receives TBRA funding for asbestos and hazardous material removal. |
| January – May 2015 | Confluence Development Activities | Confluence hires an architect and engineer to complete project plans and continues to meet with interested commercial users |
| February 2015 | Part 1 Historic Preservation Application | The National Park Service accepts the Part 1 application of Historic Tax Credit eligibility. |
| March 2015 | Extension of Preliminary Development Agreement | HEDRA agrees to extend the Preliminary Development Agreement until June 30, 2015. |
| May 2015 | Abatement of Asbestos and Hazardous Materials | Mavo Contracting completes removal of asbestos and hazardous materials with all costs paid through grant funding. |
| May 2015 | Confluence Development Proforma | Development proforma is complete for City and HEDRA review |
| May 2015 | \$600,000 Grant Award – US EPA | City receives three \$200,000 Brownfield Cleanup Grants for soil and vapor remediation |
| June 2015 | Extension of Preliminary Development Agreement | HEDRA agrees to extend the Preliminary Development Agreement until July 31, 2015. |
| July 2015 | Approval of Term Sheet | City and HEDRA approve the Term Sheet outlining conditions for sale and development. |
| July 2015 | Extension of Preliminary Development Agreement | HEDRA agrees to extend the Preliminary Development Agreement until December 1, 2015 |
| September 2015 | \$1.5 Million Grant Application – Met Council | Application proceeds into the 2 nd round for consideration. |



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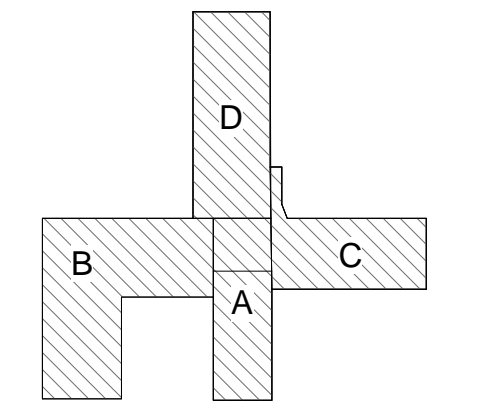
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Revisions

BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP

GREAT RIVER LANDING

BASEMENT FLOOR PLAN

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 Checked by: Checker

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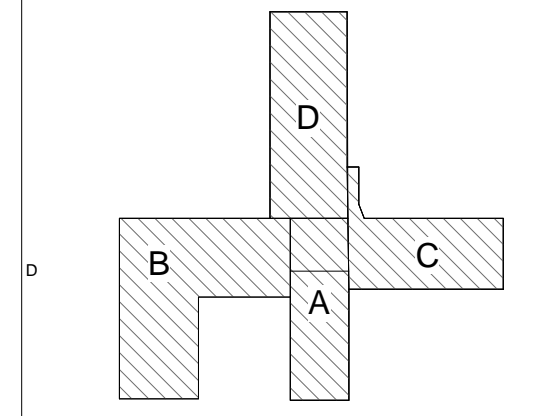
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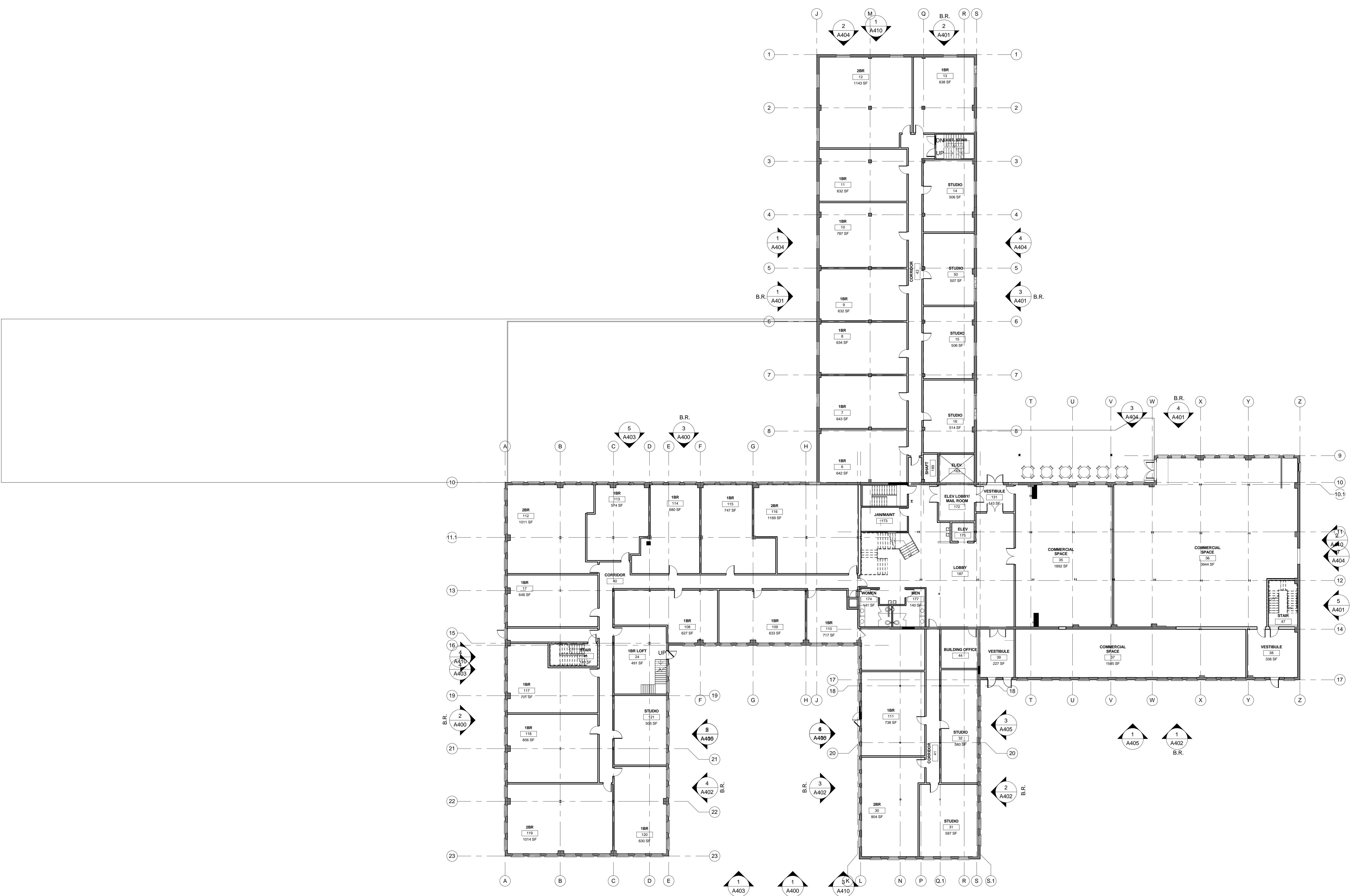
GREAT RIVER LANDING

FIRST FLOOR PLAN

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E1 FIRST FLOOR - OVERALL
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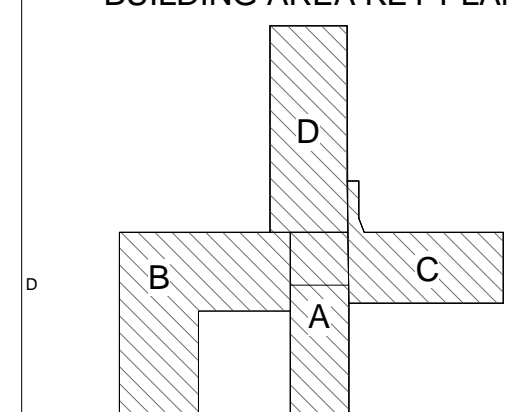
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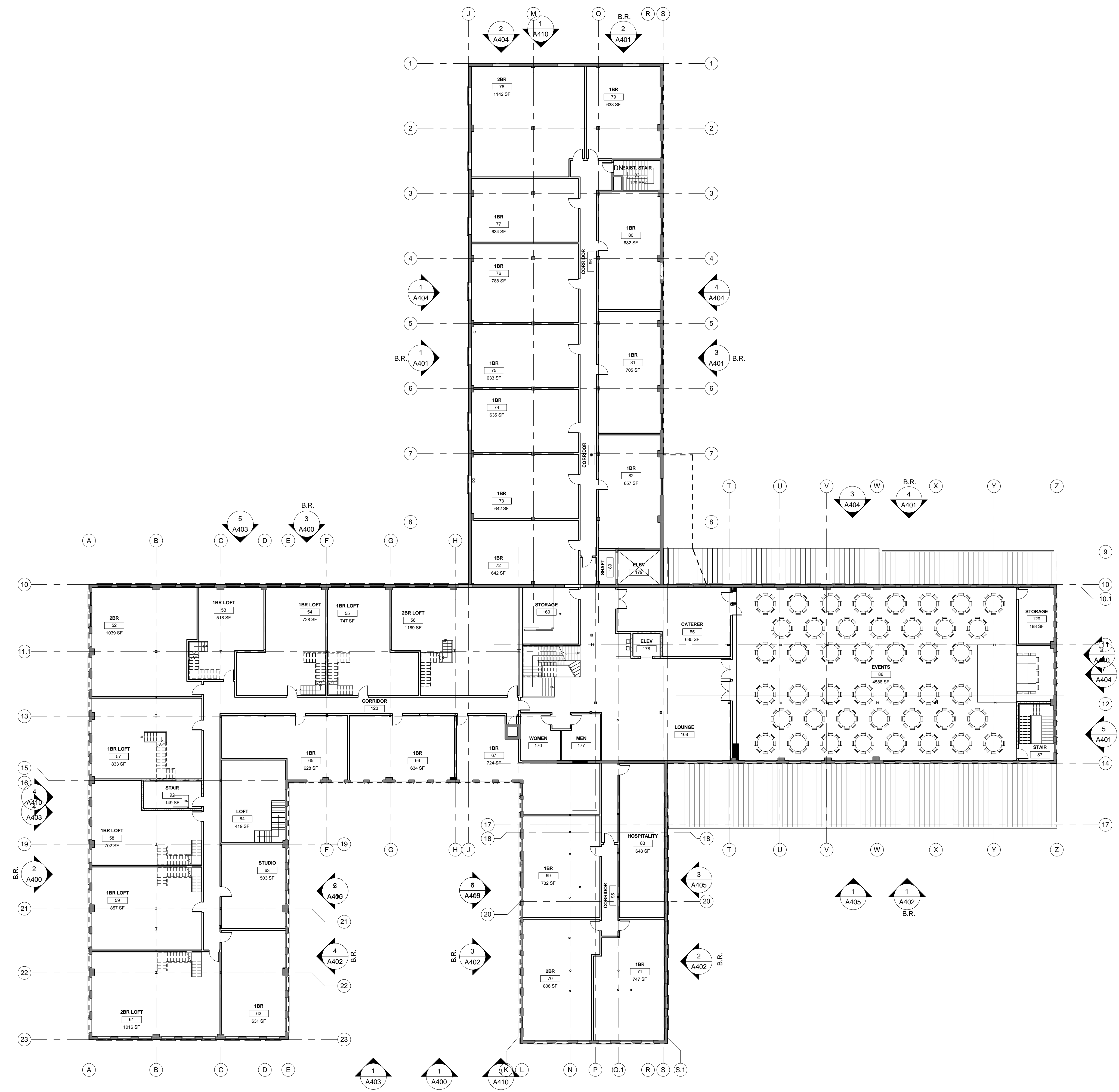


CITY PROPERTIES GROUP

GREAT RIVER LANDING
SECOND FLOOR PLAN

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Checked by Checker

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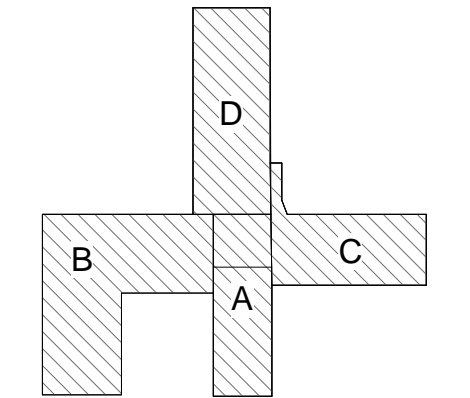
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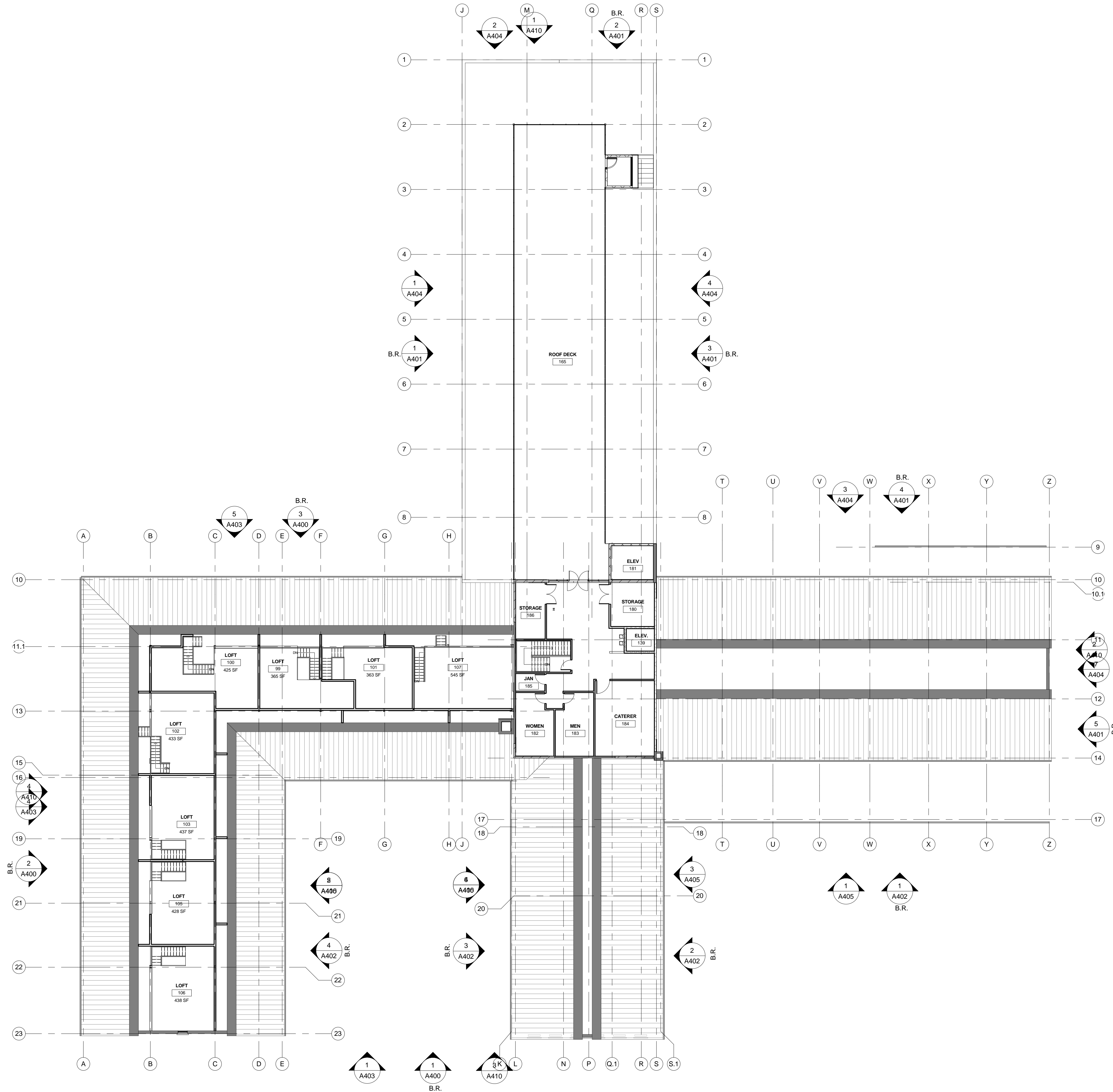
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GREAT RIVER LANDING

LOFT FLOOR PLAN

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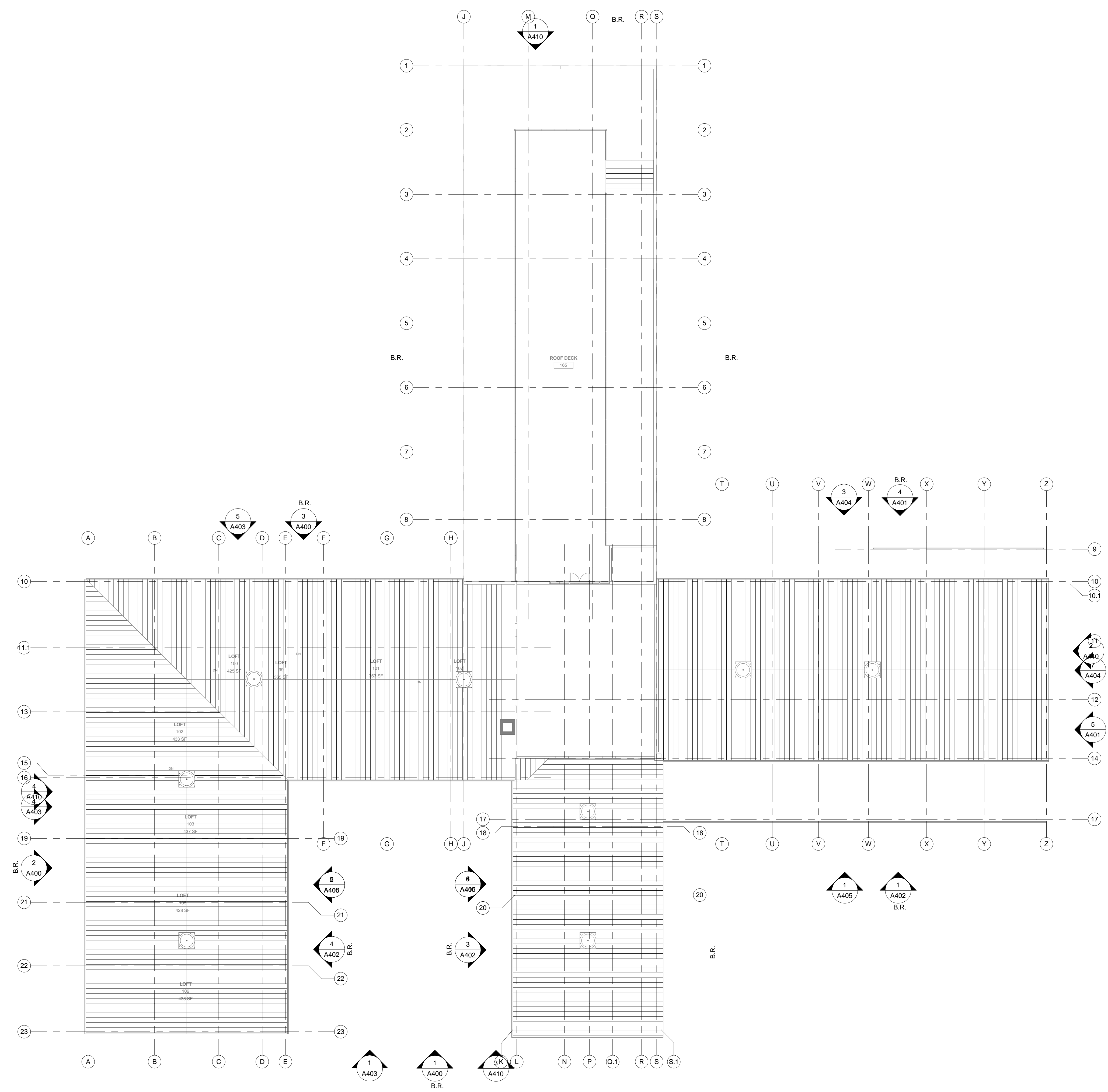
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GREAT RIVER LANDING

OVERALL PLAN - ROOF

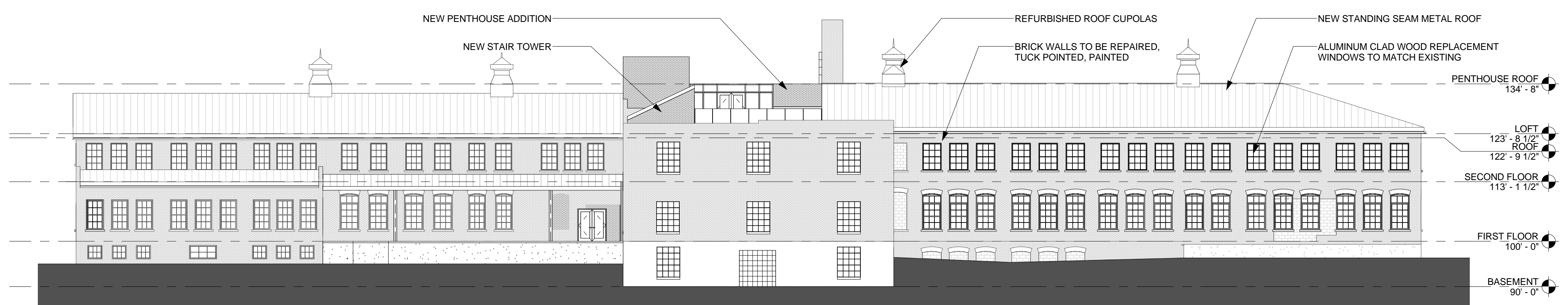
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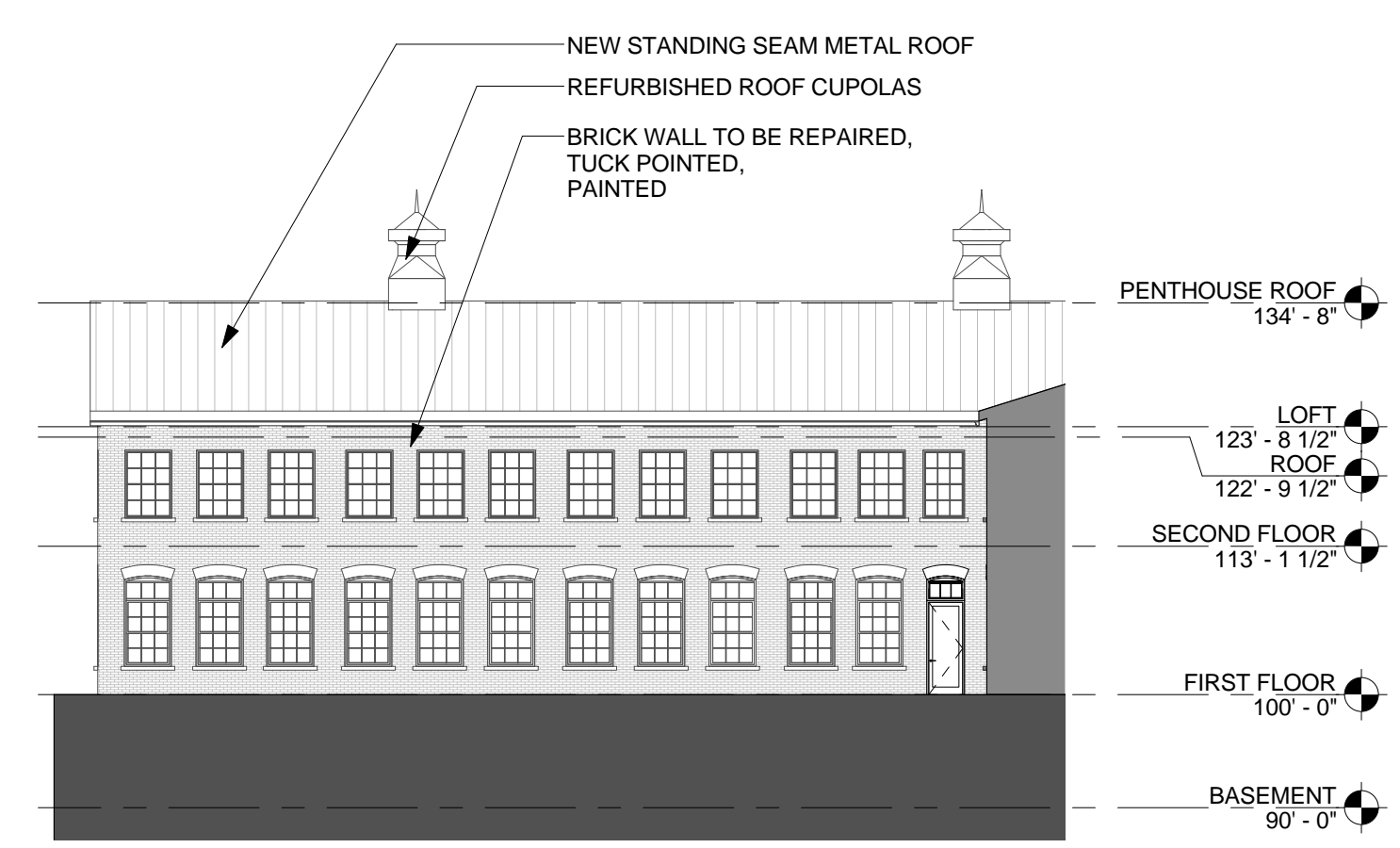


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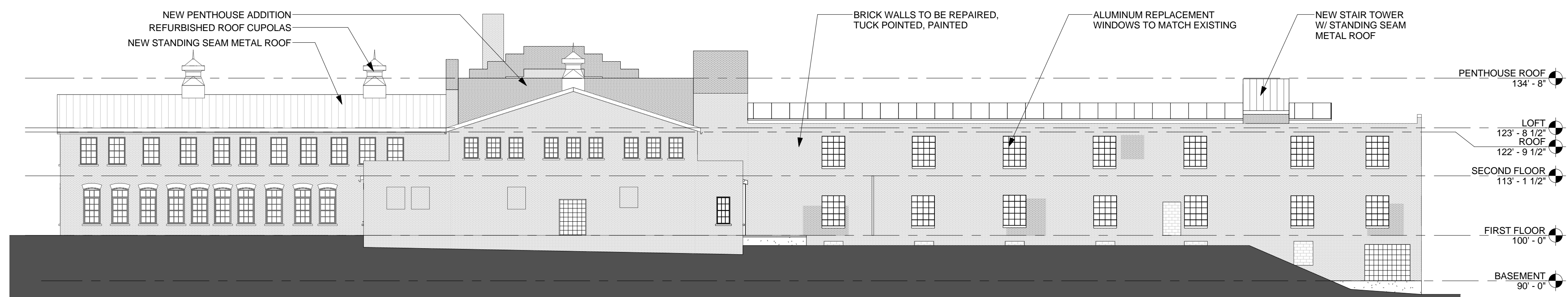
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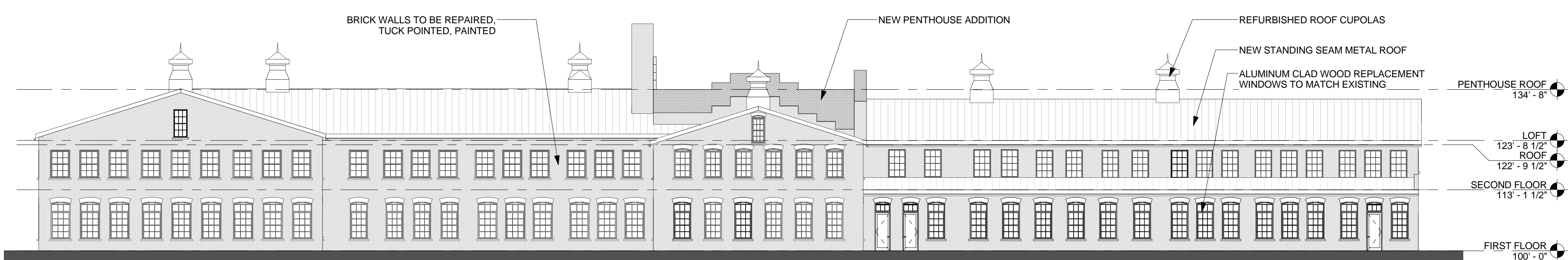
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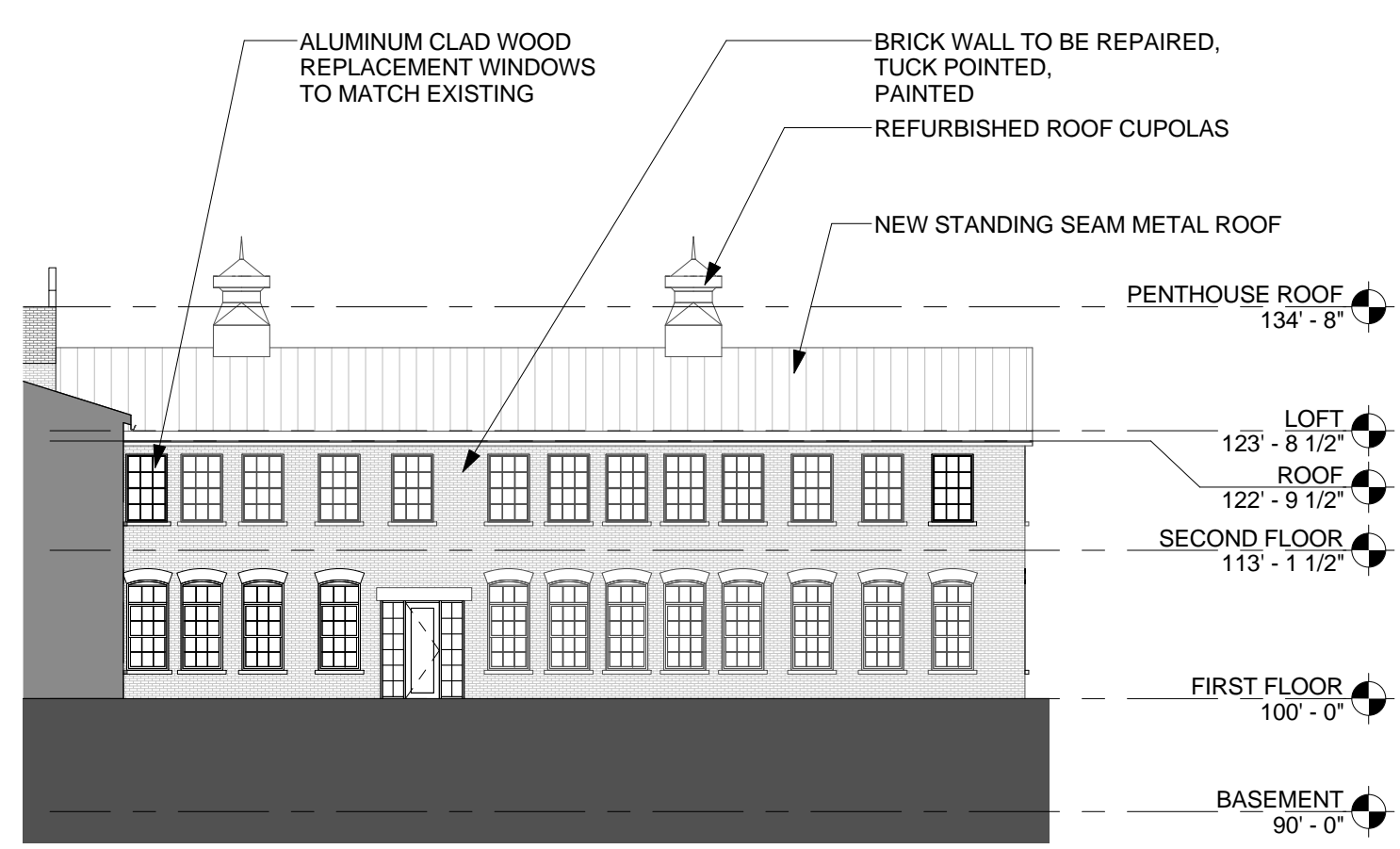
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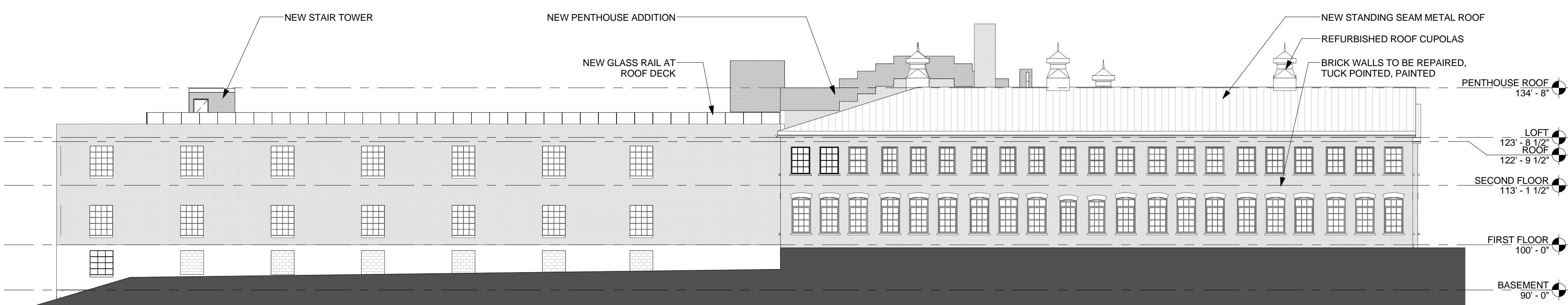
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③ OVERALL - SOUTH ELEVATION
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⑥ BLDG A - WEST ELEVATION
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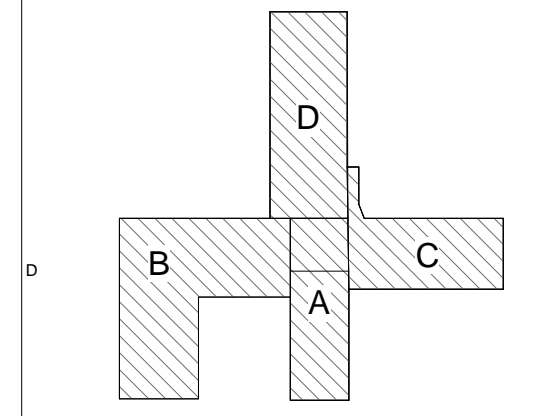


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BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP

GREAT RIVER LANDING

EXTERIOR ELEVATIONS

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Checked by Checker

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① OVERALL - NORTH ELEVATION
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⑤ BLDG B - EAST ELEVATION
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② OVERALL - EAST ELEVATION
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③ OVERALL - SOUTH ELEVATION
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⑥ BLDG A - WEST ELEVATION
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④ OVERALL - WEST ELEVATION
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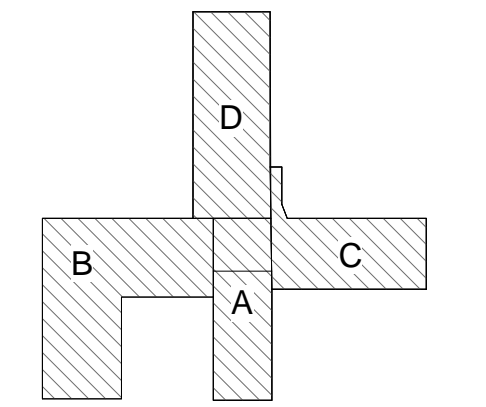
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BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP

GREAT RIVERS LANDING

EXTERIOR ELEVATIONS - COLORED

Date/ct number XXXXXX.XX
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Drawn by Author
Checked by Checker

A411

GREAT RIVERS LANDING

ERICKSON CIVIL

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com



GRAPHIC SCALE

LEGEND

- DENOTES SET 1/8 INCH BY 16 INCH IRON PIPE MONUMENT MARKED WITH A PLASTIC CAP INSCRIBED "JOHNSON LS 10938", UNLESS SHOWN OTHERWISE
- DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED

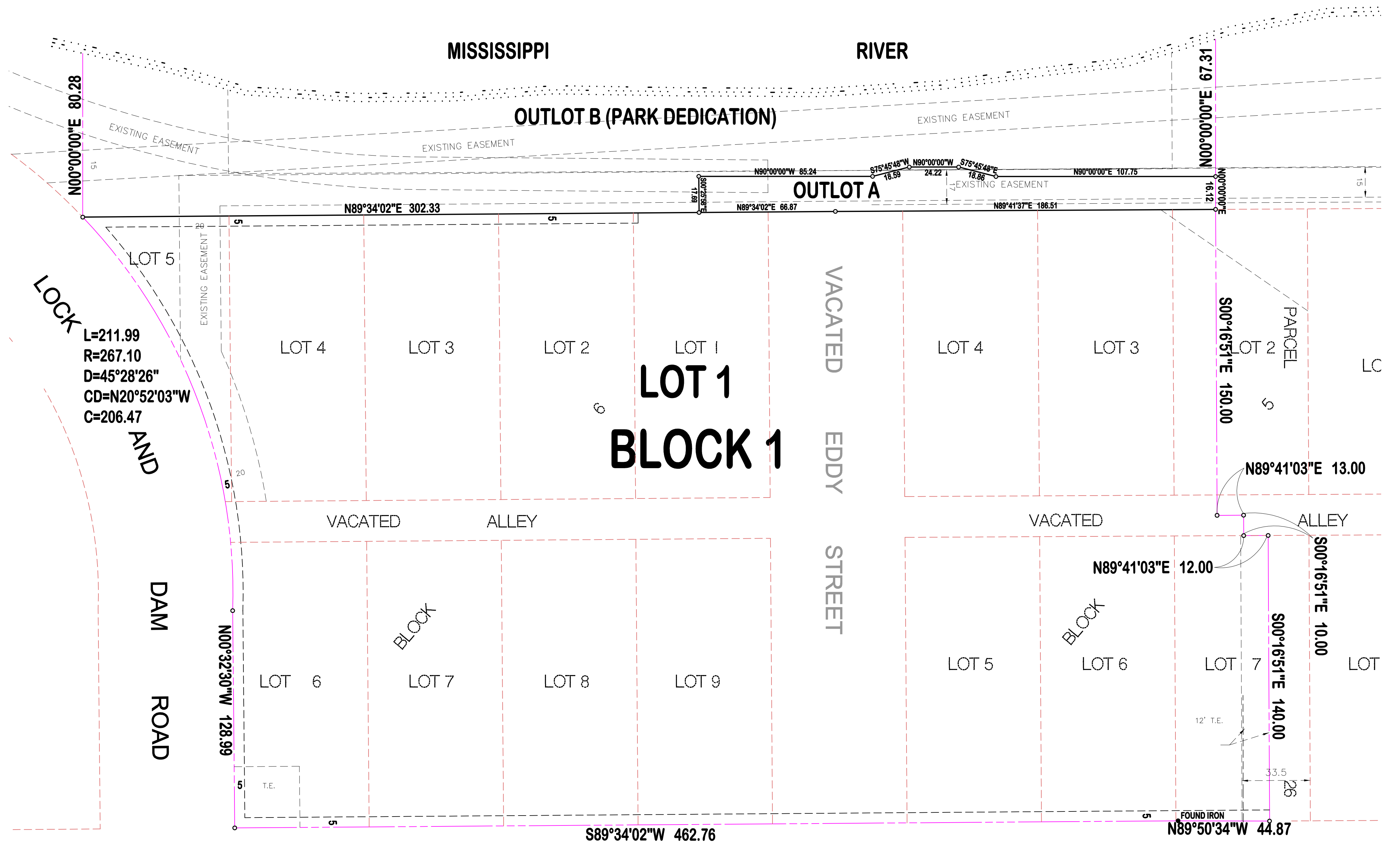
NOTES

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON DAKOTA COUNTY COORDINATES.

LEGAL DESCRIPTION:

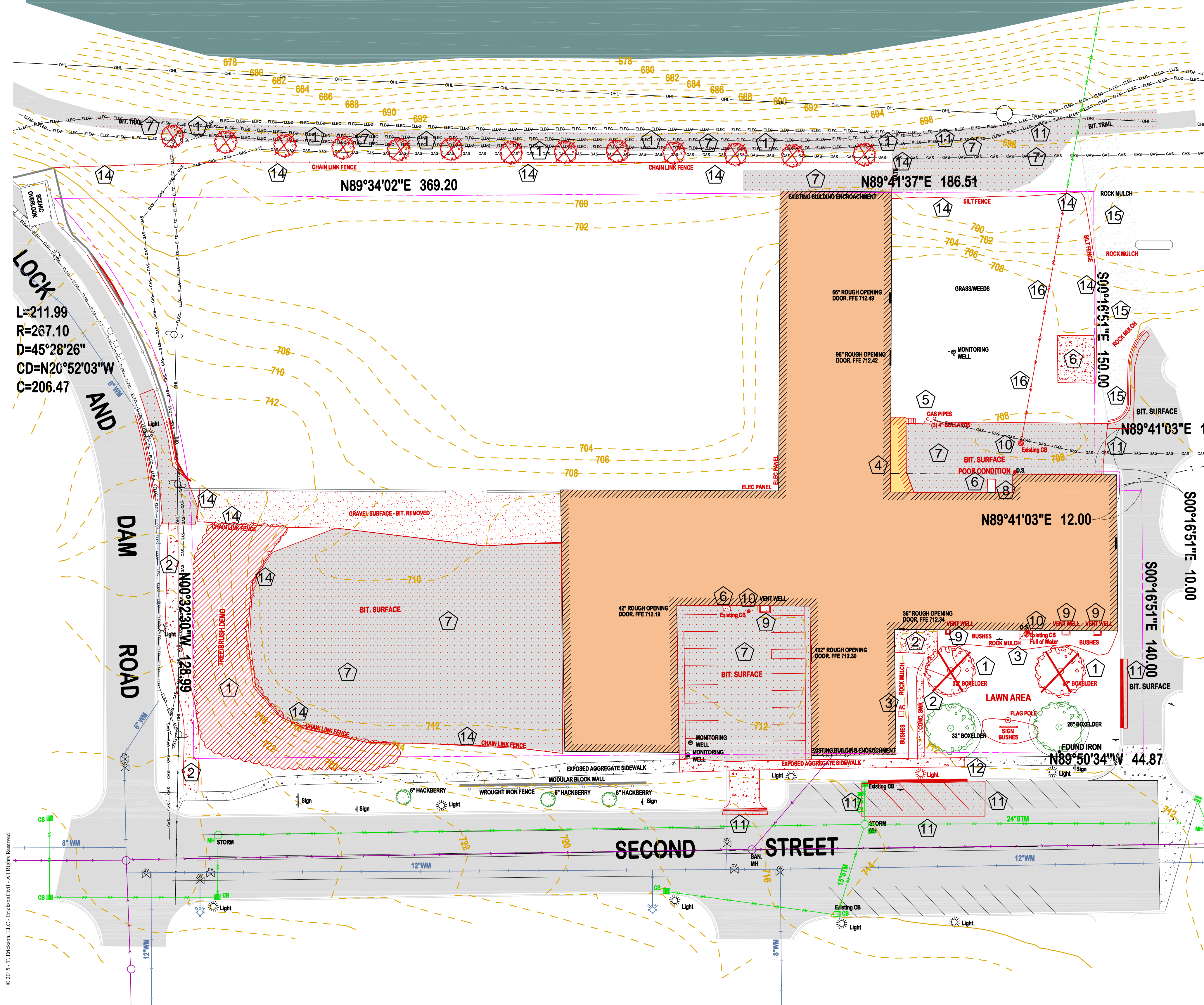
Lots 1, 2, 3, 4, 5, 6, 7 and the South ninety-eight and five sixths feet of Lot 8, in Block 5; and Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9, in Block 6 all in the Town now City of Hastings, Dakota County, Minnesota, together with the vacated alley lying in said Block 5 and 6 together with that part of vacated Eddy Street lying between the extensions of the North and South lines of said Block 5 and 6.

Except that part of Lots 1, 2, 3, 4, 7, 8 and the vacated alley, Block 5, and Lots 1, 2, 3, 4 and 5, Block 6, Town of Hastings, shown as Parcel 26 on Minnesota Department of Transportation Right of Way Numbered 19-145 recorded as Document No. 2684370.



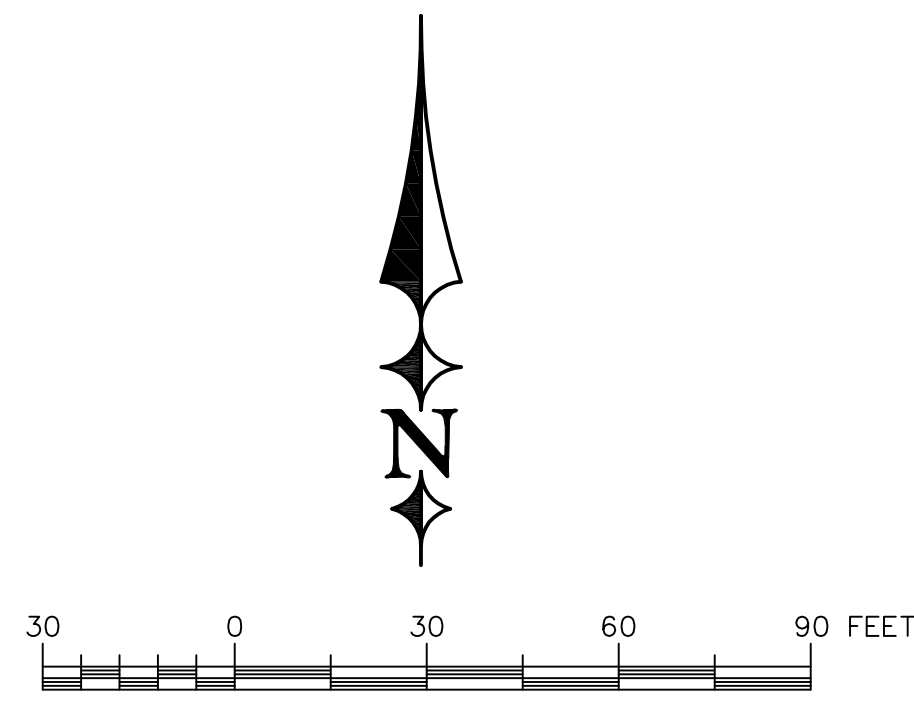
SECOND COUNTY RIGHT OF WAY PLAT NUMBER 184) STREET

MISSISSIPPI RIVER



L=211.99
R=267.10
D=45°28'26"
CD=N20°52'03"W
C=206.47

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LEGEND:

- EXISTING BOUNDARY
- EXISTING CONTOURS (2 FOOT CONTOUR INTERVAL)
- OVER HEAD ELECTRIC LINE
- UG GAS LINE
- UG ELECTRIC LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- STORM MANHOLE, CATCH BASIN
- SANITARY MANHOLE
- POWER POLE

KEYED NOTES:

- 1 REMOVE EXISTING TREE(S) AND STUMP(S).
- 2 REMOVE EXISTING CONCRETE SIDEWALK.
- 3 REMOVE EXISTING LANDSCAPE MATERIALS, SHRUBS AND CONCRETE WELLS, CATCH BASIN AND AC UNIT.
- 4 REMOVE EXISTING DOCK ADDITION.
- 5 COORDINATE WITH GAS COMPANY TO RELOCATE EXISTING GAS METERS TO BUILDING FACE.
- 6 REMOVE EXISTING CONCRETE PAD.
- 7 REMOVE EXISTING BIT. SURFACE.
- 8 REMOVE EXISTING CONCRETE WALL(S).
- 9 REMOVE EXISTING CONCRETE VENT
- 10 REMOVE EXISTING CATCH BASIN
- 11 SAW CUT BIT. FULL DEPTH PRIOR TO REMOVAL
- 12 SAW CUT CONCRETE SIDEWALK PRIOR TO REMOVAL
- 13 PROTECT EXISTING TREES
- 14 REMOVE EXISTING FENCE
- 15 REMOVE ROCK MULCH AS REQUIRED FOR NEW PARKING AREA
- 16 REMOVE EXISTING STORM PIPE TO NEW MANHOLE

LEGAL DESCRIPTION:

Lots 1, 2, 3, 4, 5, 6, 7 and the South ninety-eight and five sixths feet of Lot 8, in Block 5; and Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9, in Block 6 all in the Town now City of Hastings, Dakota County, Minnesota, together with the vacated alley lying in said Block 5 and 6 together with that part of vacated Eddy Street lying between the extensions of the North and South lines of said Block 5 and 6.

Except that part of Lots 1, 2, 3, 4, 7, 8 and the vacated alley, Block 5, and Lots 1, 2, 3, 4 and 5, Block 6, Town of Hastings, shown as Parcel 26 on Minnesota Department of Transportation Right of Way Numbered 19-145 recorded as Document No. 2684370.

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| <input type="checkbox"/> | OWNER REVIEW |
| <input checked="" type="checkbox"/> | AGENCY REVIEW |
| <input type="checkbox"/> | BID DOCUMENT |
| <input type="checkbox"/> | FOR CONSTRUCTION |
| <input type="checkbox"/> | AS-BUILT DOCUMENT |

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 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 09/03/2015
 DATE:

OWNER/DEVELOPER
CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

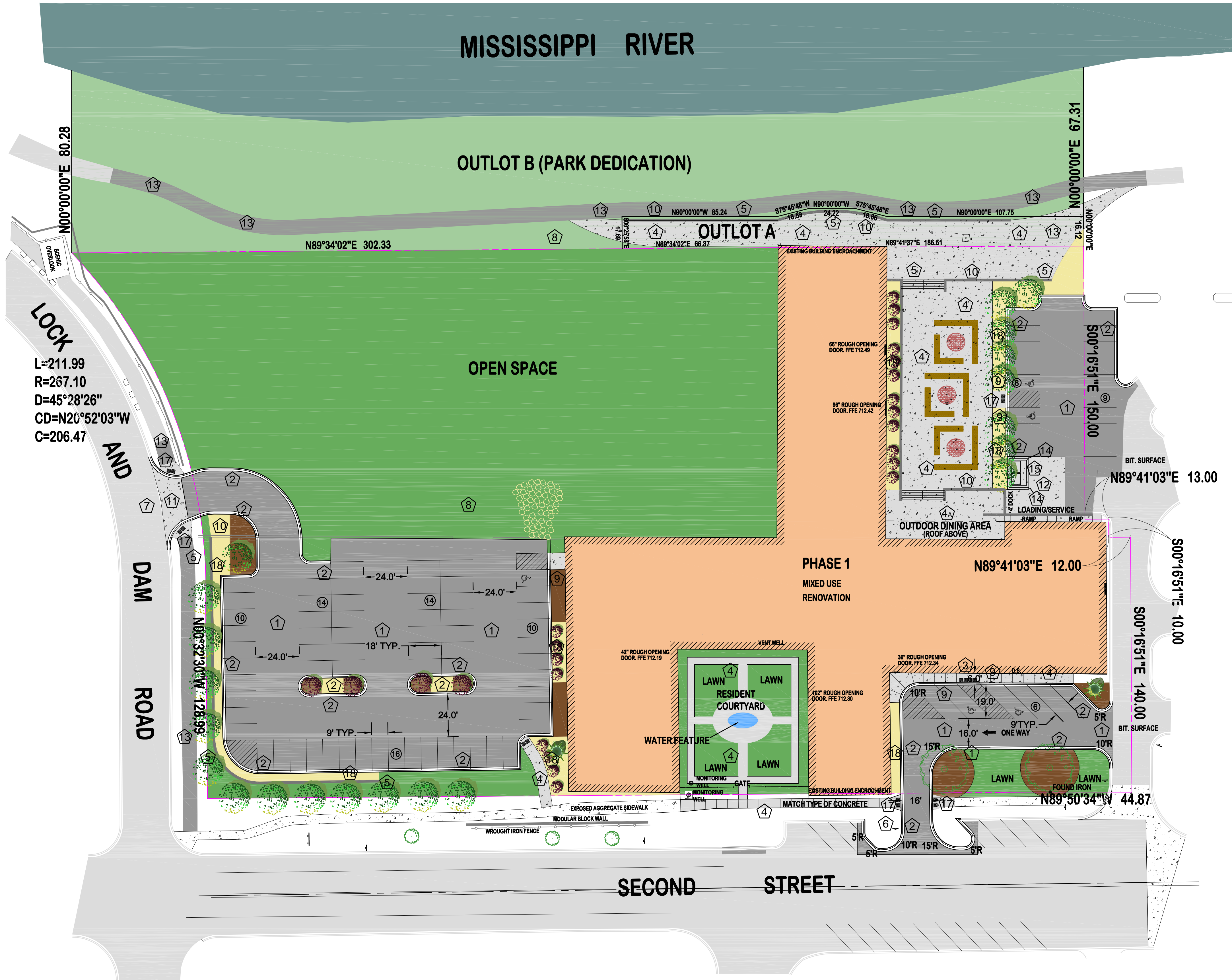
PROJECT TITLE
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

| NO. | REVISION DESCRIPTION | DATE |
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JOB NO. 15-143

SHEET TITLE
EXISTING CONDITIONS & DEMO PLAN

SHEET NO.
C1
 SHEET 1 OF 6



LOCK AND DAM ROAD
 L=211.99
 R=267.10
 D=45°28'26"
 CD=N20°52'03"W
 C=206.47

MISSISSIPPI RIVER

OUTLOT B (PARK DEDICATION)

OUTLOT A

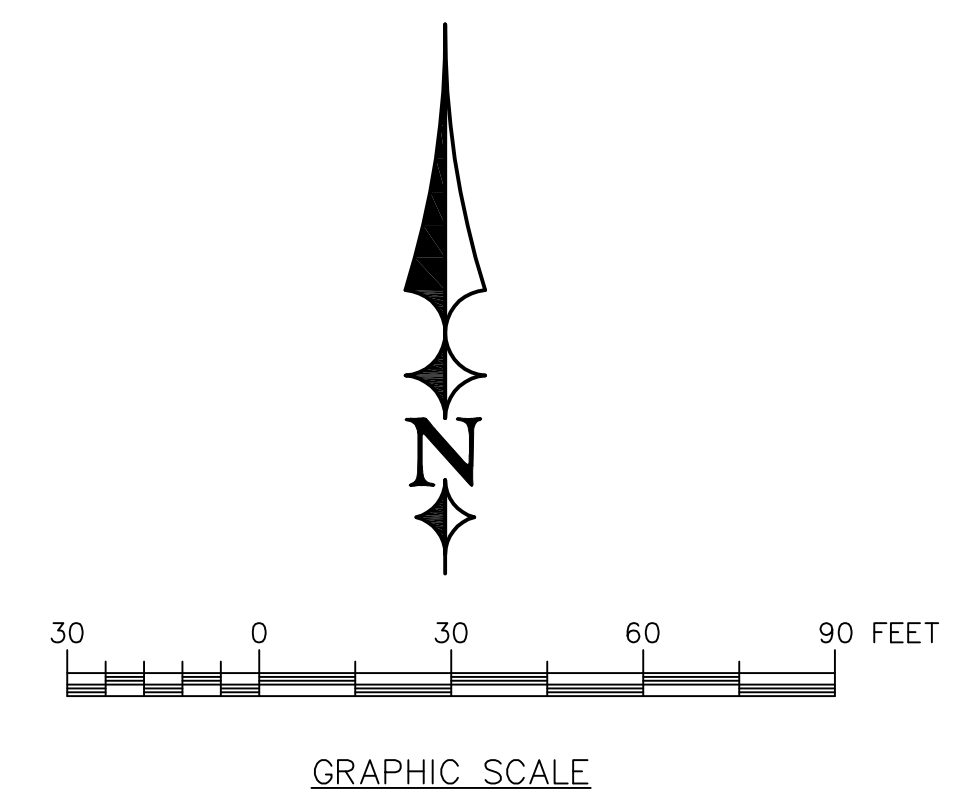
OPEN SPACE

PHASE 1
 MIXED USE
 RENOVATION

RESIDENT COURTYARD
 LAWN
 WATER FEATURE
 GATE
 MONITORING WELL

OUTDOOR DINING AREA
 (ROOF ABOVE)

SECOND STREET



LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- PARKING STALL COUNT (TOTAL PROPOSED = 87)

KEYED NOTES:

- 1 INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C5.
- 2 INSTALL B612 CONCRETE CURB. REFER TO DETAIL 2/C5.
- 3 CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5.
- 4 INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4/C5. 6" CONCRETE PAVEMENT FOR 4A.
- 5 MODULAR BLOCK WALL WITH RAILING (VERSA LOK BRONCO). ANY WALL OVER 4-FT IN HEIGHT SHALL BE DESIGNED BY AN ENGINEER AND A SIGNED PLAN SET OF DRAWINGS SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
- 6 INSTALL "STOP" TRAFFIC CONTROL SIGN.
- 7 CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5.
- 8 6" MIN. TOPSOIL AND HYDRO SEEDED WITH LOW GROW FESCUE @ 220 LBS. PER ACRE, W/20 LBS. PER ACRE ANNUAL RYE.
- 9 INSTALL HANDICAP SIGNAGE. SEE DETAIL 1/C2.
- 10 INSTALL FENCING AT RETAINING WALL PER ARCHITECT DETAIL
- 11 INSTALL CONCRETE APRON SECTION, SEE DETAIL 10/C5
- 12 INSTALL CONCRETE TRUCK DOCK APRON USE SECTION FOUND IN DETAIL 10/C5
- 13 INSTALL BIT. TRAIL SECTION SEE DETAIL 11/C5
- 14 INSTALL CONCRETE FILLED 6" STEEL BOLLARD (4-FT BELOW GRADE AND 3.5-FT ABOVE GRADE) CAP WITH STANDARD YELLOW COVER FROM IDEAL SHIELD.
- 15 INSTALL TRASH ENCLOSURE W/GATE AND CONCRETE PAD PER DETAIL 10/C5.
- 16 RIP RAP STORM WATER DISSIPATER
- 17 CONSTRUCT ACCESSIBLE RAMP LANDING, 2% MAX SLOPE EITHER DIRECTION, W/ (2) NEENAH UNPAINTED TRUNCATED DOME PLATES
- 18 2"-4" LIMESTONE ROCK MULCH OVER GEOTEXTILE FABRIC TYPE IV, NON WOVEN.

LAYOUT NOTES:

- 1) ALL RADII TO FACE OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- 3) PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.

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| ✓ AGENCY REVIEW |
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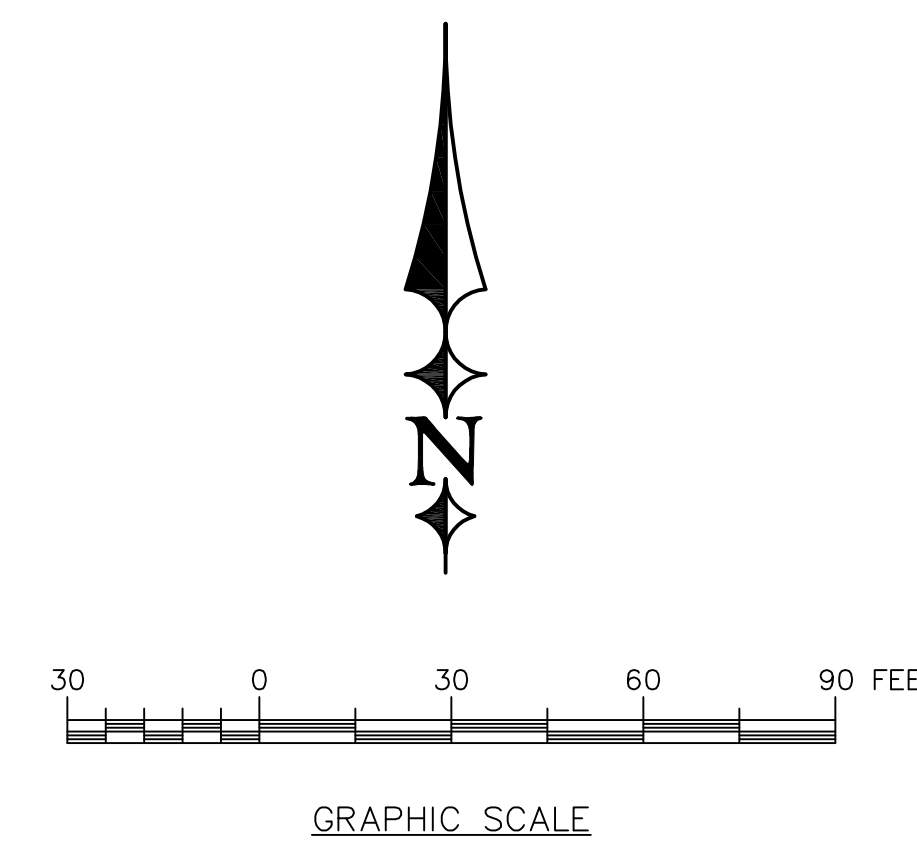
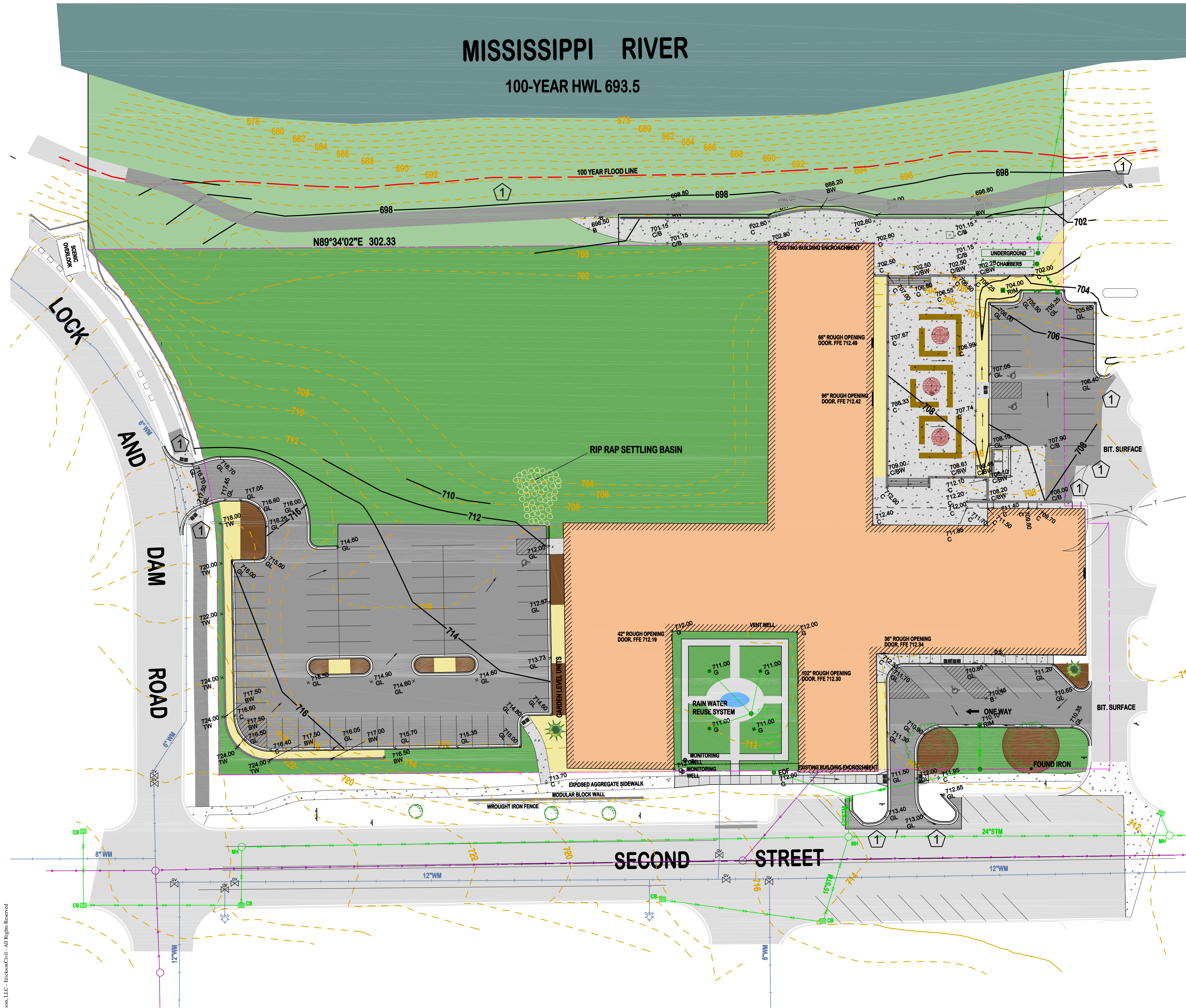
PROJECT TITLE
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

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JOB NO. 15-143

SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
 SHEET 2 OF 6



LEGEND:

| | |
|--|--|
| | EXISTING PROPERTY BOUNDARY |
| | EXISTING 1-FT CONTOUR |
| | PROPOSED 1-FT CONTOUR |
| | PROPOSED SPOT ELEVATION G = PROPOSED GROUND SURFACE |
| | GL = GUTTER LINE |
| | C = CONCRETE SURFACE |
| | B = BITUMINOUS SURFACE |
| | TW = TOP OF WALL |
| | BW = BOTTOM OF WALL |
| | NOTE: * REPRESENTS EXISTING GRADE. |

KEYED NOTES:

① MATCH EXISTING BITUMINOUS PAVEMENT ELEVATIONS.

| DRAWING PHASE: | |
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| <input checked="" type="checkbox"/> | AGENCY REVIEW |
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T. Erickson
TODD A. ERICKSON, PE
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GREAT RIVERS LANDING
HASTINGS, MINNESOTA

| NO. | REVISION DESCRIPTION | DATE |
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JOB NO. 15-143

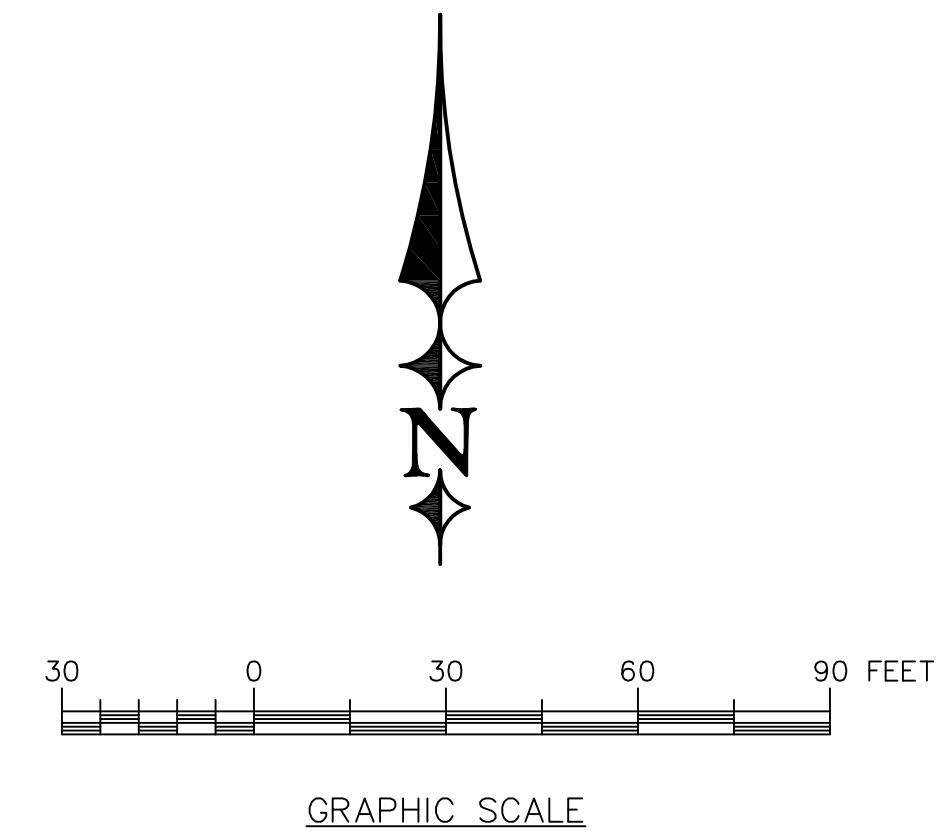
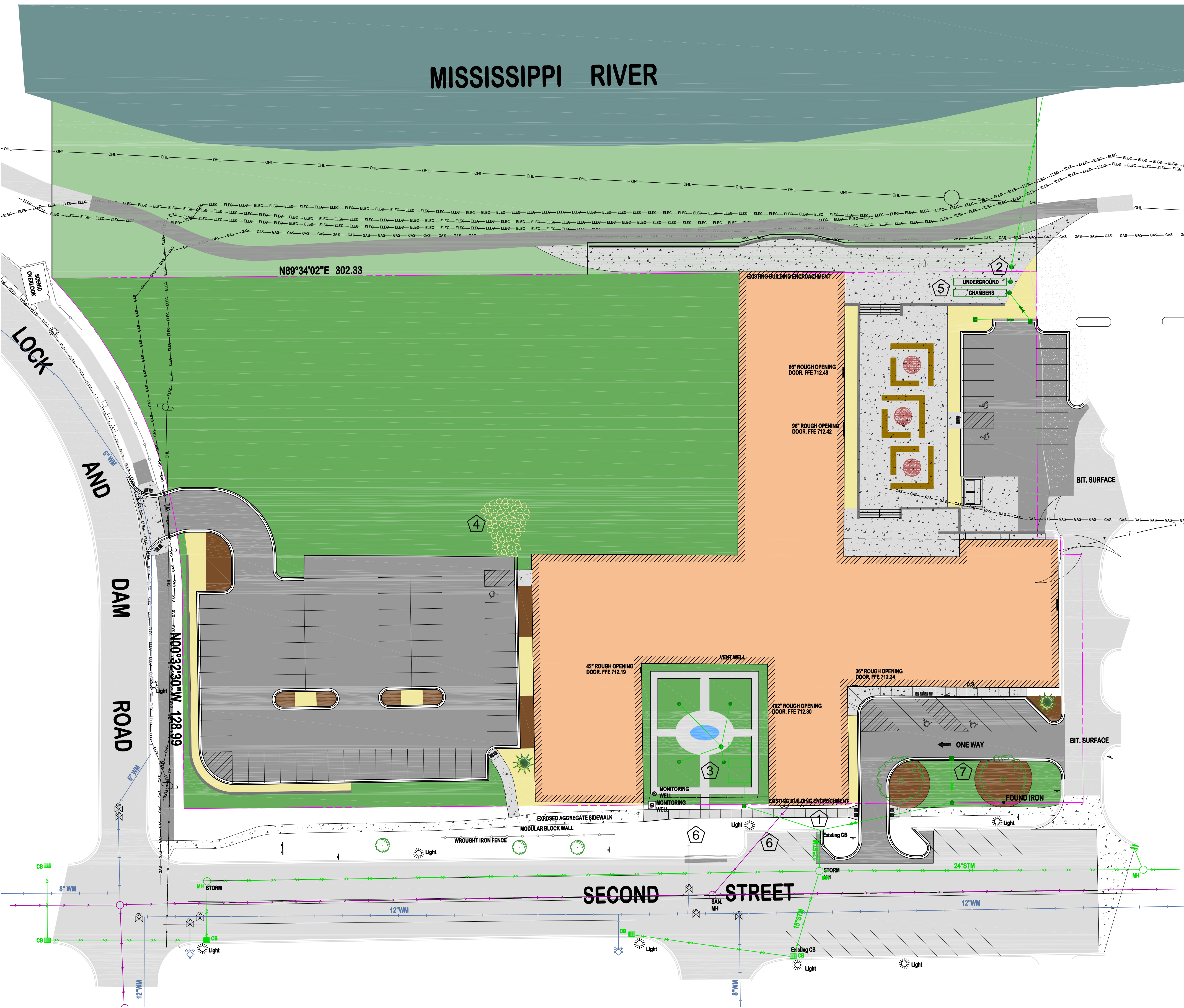
SHEET TITLE
GRADING PLAN

SHEET NO.
C3
SHEET 3 OF 6

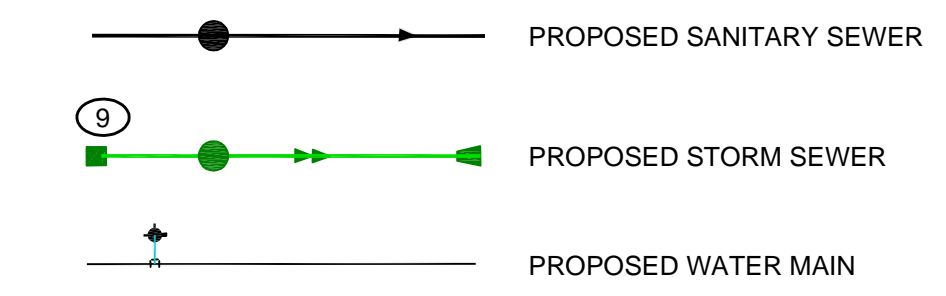
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40418
LICENSE NO.
09/03/2015
DATE:



LEGEND:



KEYED NOTES:

- 1 CONNECT TO EXISTING CATCH BASIN
- 2 CONSTRUCT MANHOLE STRUCTURE OVER EXISTING STORM LINE. LOCATION SHALL BE VERIFIED.
- 3 RAIN WATER REUSE TANKS AND WATER FEATURE FOR CIRCULATION OF STORED WATER. TO BE UTILIZED FOR IRRIGATION OF PROPERTY.
- 4 STORM WATER TO SHEET FLOW OFF OF PARKING AREA TO RIP RAP SWALE AND RIP RAP SETTLING POND.
- 5 CONSTRUCT STORM WATER UNDERGROUND DETENTION SYSTEM.
- 6 EXISTING WATER AND SANITARY SEWER TO REMAIN
- 7 CONSTRUCTION NEW CATCH BASIN AND PIPING SYSTEM FROM LOWPOINT TO EXISTING CATCH BASIN.

OWNER/DEVELOPER
CONFLUENCE, LLC
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Hastings, MN 55033

PROJECT TITLE
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HASTINGS, MINNESOTA

| NO. | REVISION DESCRIPTION | DATE |
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JOB NO. 15-143

SHEET TITLE
UTILITY PLAN

SHEET NO.
C4
SHEET 4 OF 6

| | |
|-------------------|---|
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| OWNER REVIEW | |
| AGENCY REVIEW | ✓ |
| BID DOCUMENT | |
| FOR CONSTRUCTION | |
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[Signature]
 TODD A. ERICKSON, PE
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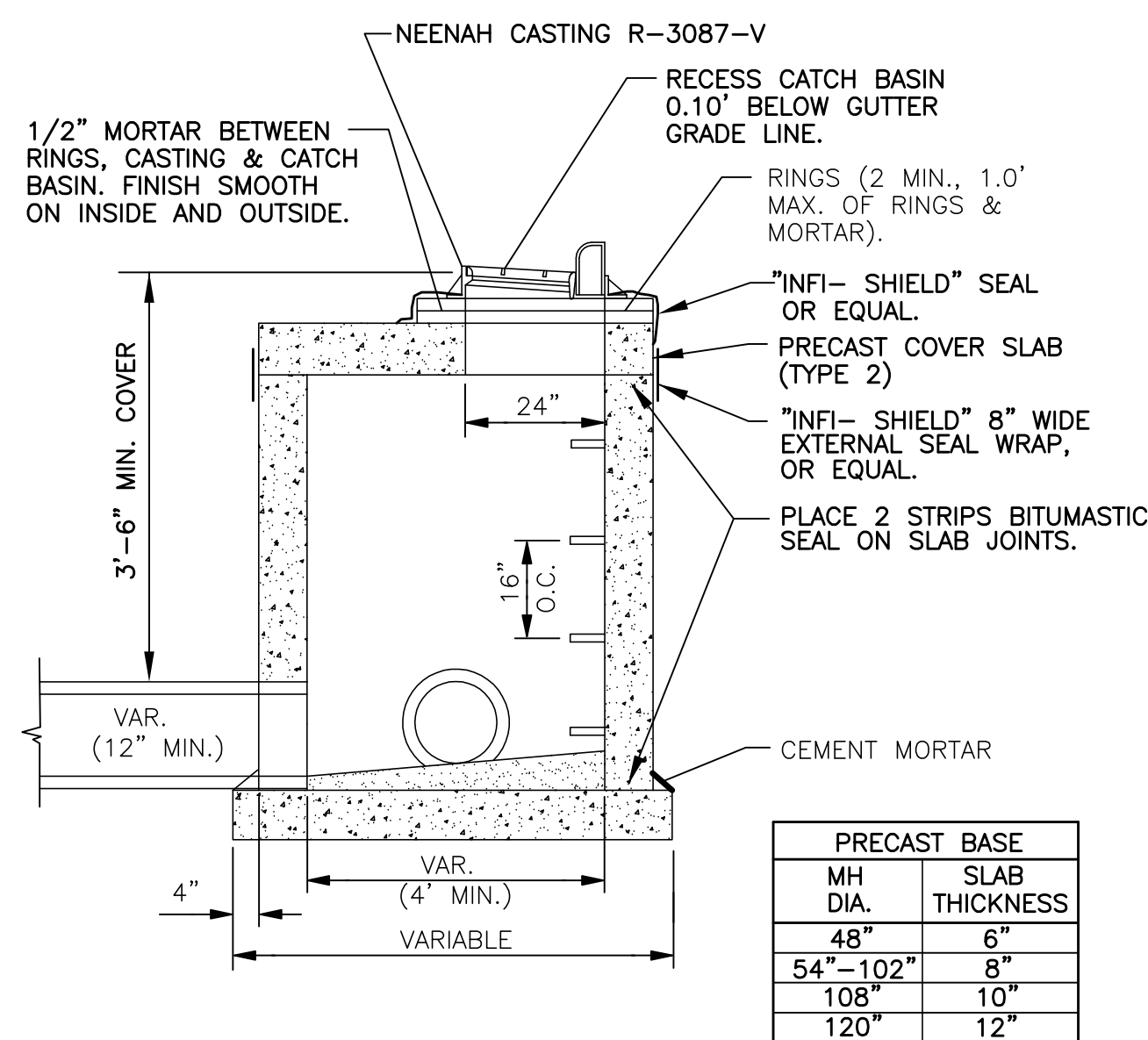
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PROJECT TITLE
GREAT RIVERS LANDING
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| NO. | REVISION DESCRIPTION | DATE |
| 1 | 6" GRAVEL NOT 8" GRAVEL | 7/27/15 |

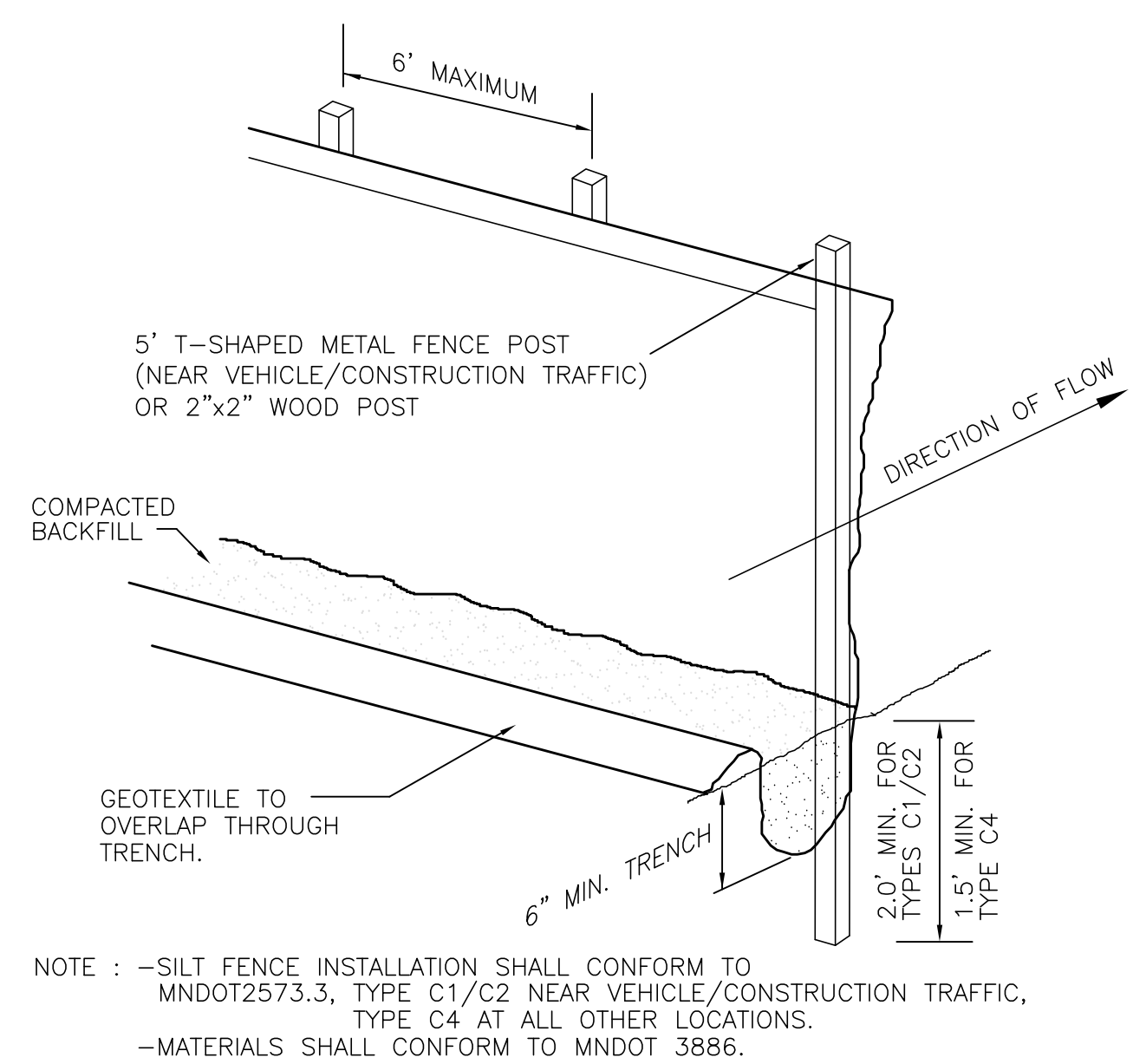
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 SHEET TITLE
DETAILS

SHEET NO.
C5
 SHEET 5 OF 6



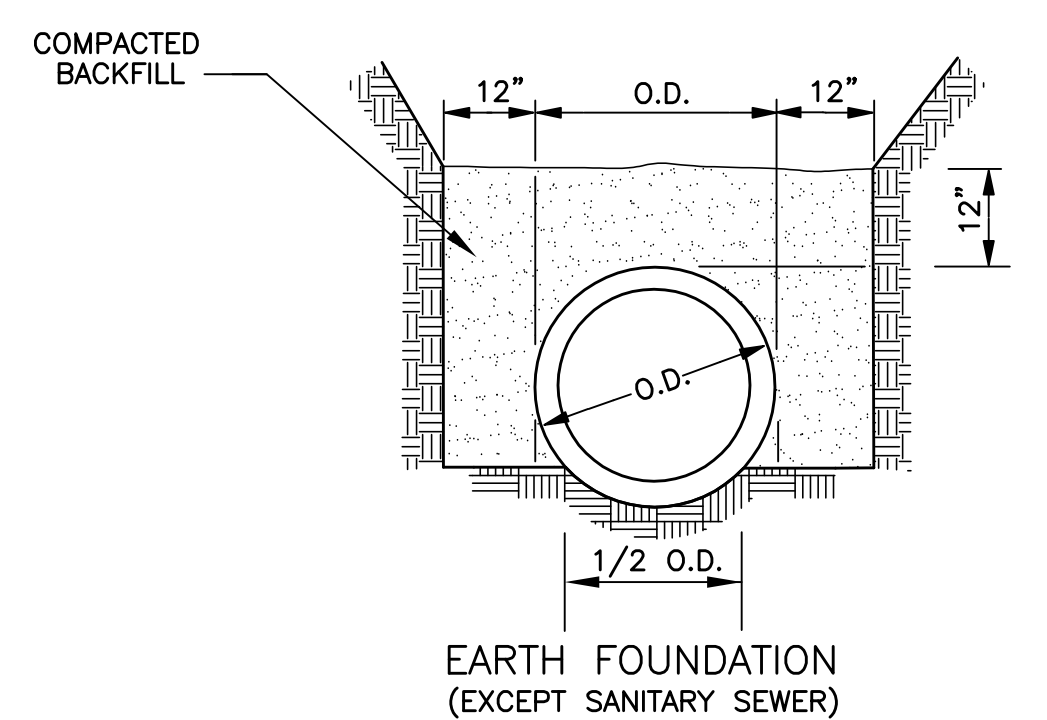
NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY.
 CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, OR 8" CONCRETE MANHOLE BLOCK WITH 1/2" MORTARED EXTERIOR.
 FURNISH PRECAST CONCRETE MANHOLE SECTIONS WITH O-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
 FILL OPENING BETWEEN PIPE AND MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

9 CATCH BASIN/MANHOLE
 C5 NO SCALE

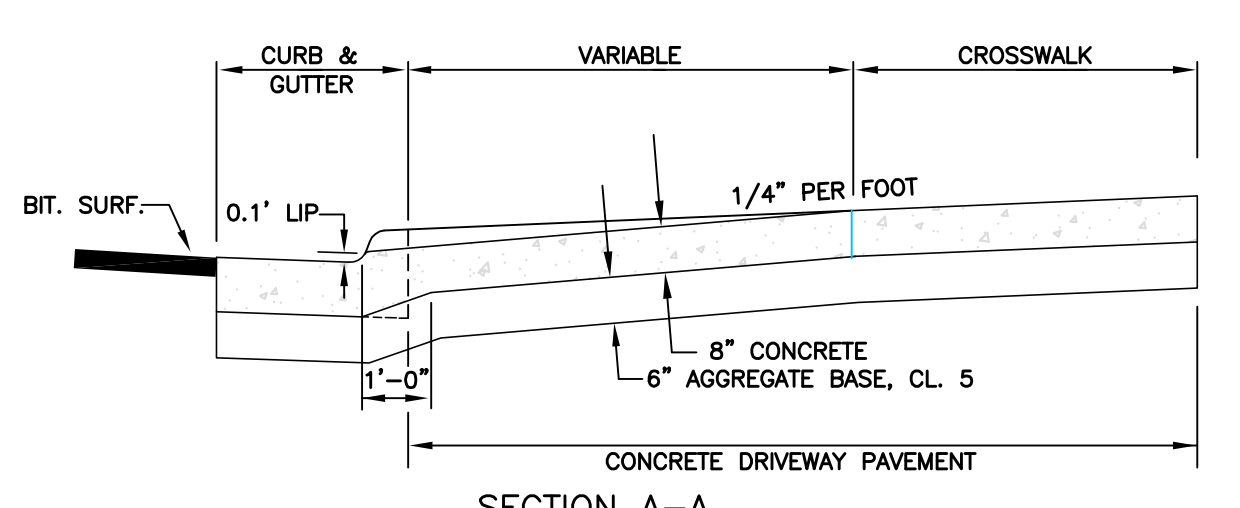
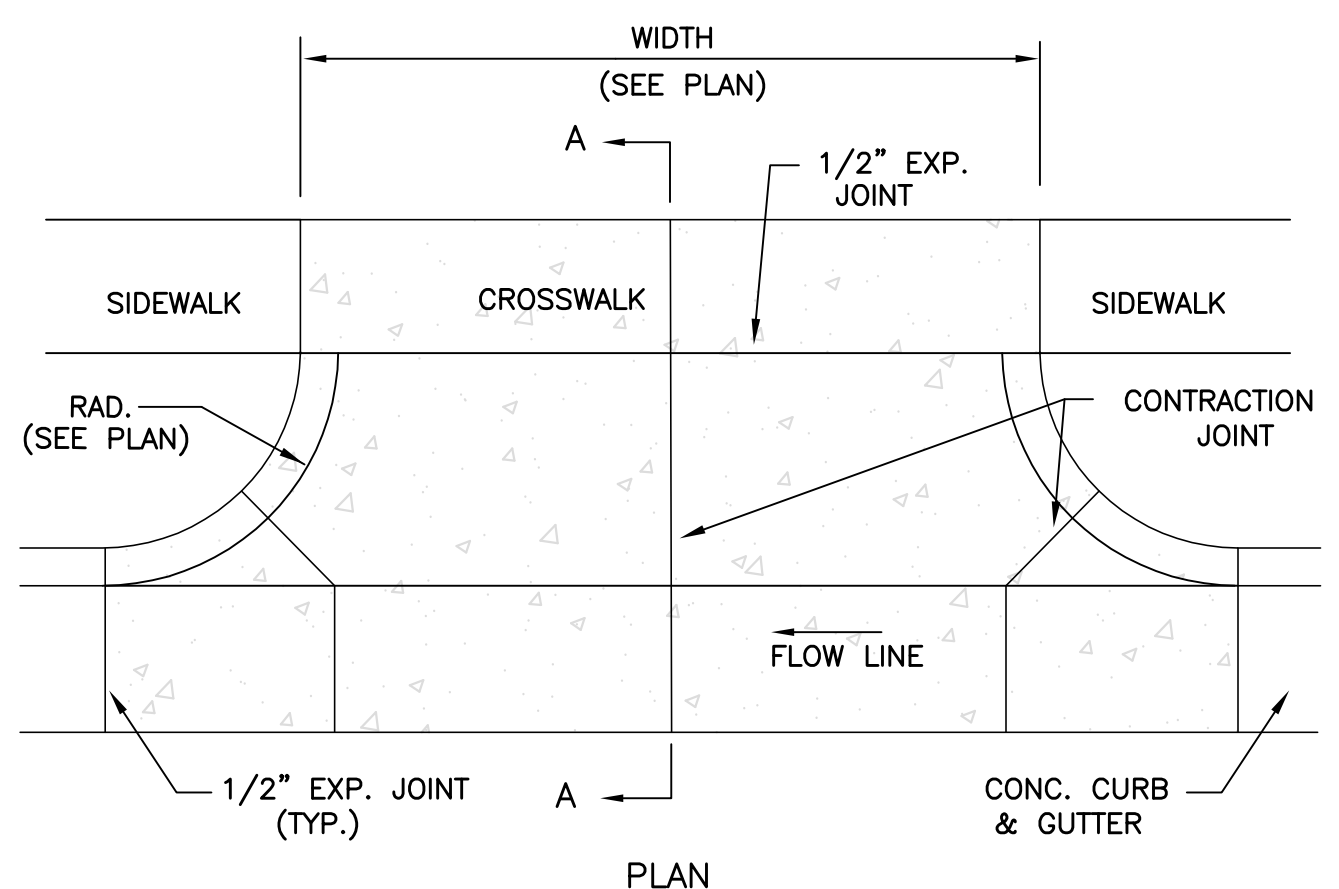


NOTE: -SILT FENCE INSTALLATION SHALL CONFORM TO MNDOT2573.3, TYPE C1/C2 NEAR VEHICLE/CONSTRUCTION TRAFFIC, TYPE C4 AT ALL OTHER LOCATIONS.
 -MATERIALS SHALL CONFORM TO MNDOT 3866.

6 SILTY FENCE
 C5 NO SCALE

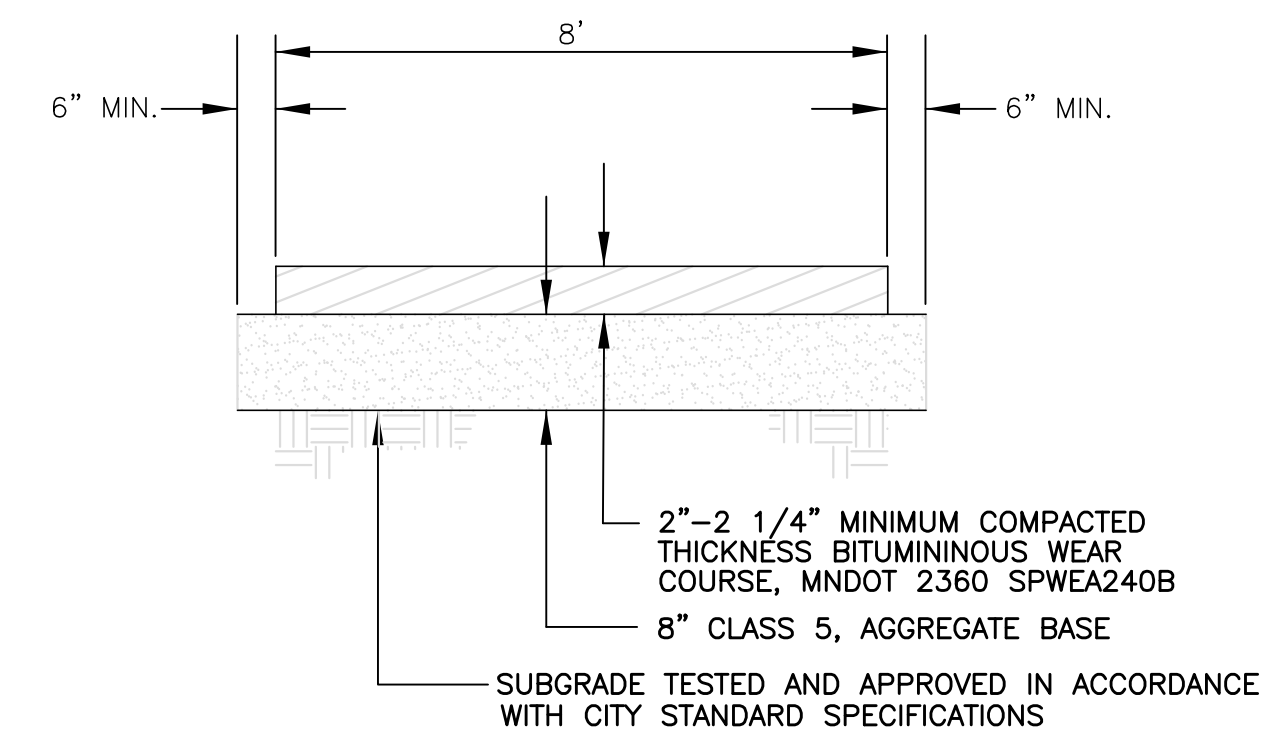


7 PIPE FOUNDATION DETAILS
 C5 NO SCALE



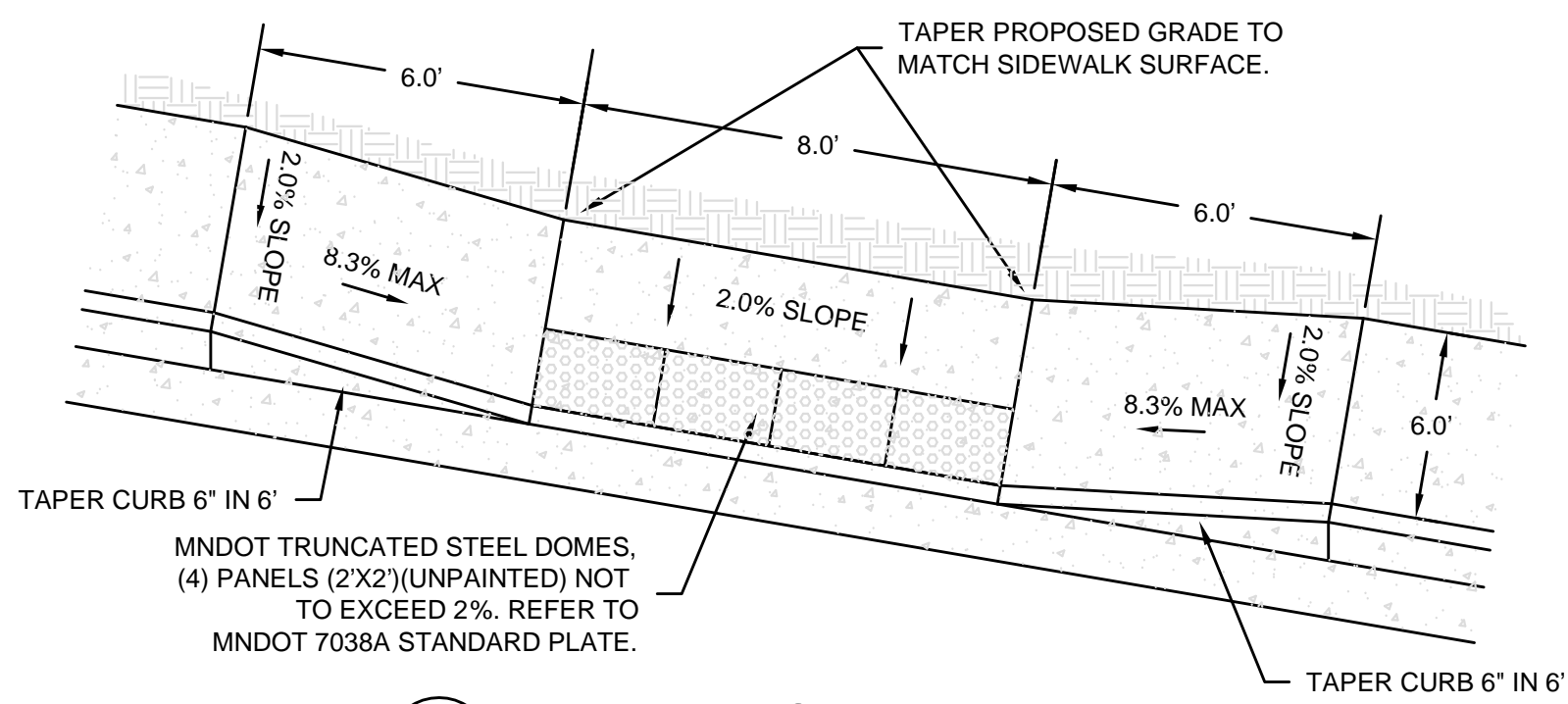
NOTES:
 1. PANEL WIDTH SHALL NOT EXCEED 10' WITHOUT CONTRACTION JOINT.
 2. WHERE SIDEWALK EXISTS OR IS PROPOSED, CROSSWALK SHALL BE SAME THICKNESS AS DRIVEWAY.
 3. CONCRETE SHALL BE 4000 PSI MIN., WITH FIBER MESH

10 CONCRETE DRIVEWAY
 C5 NO SCALE

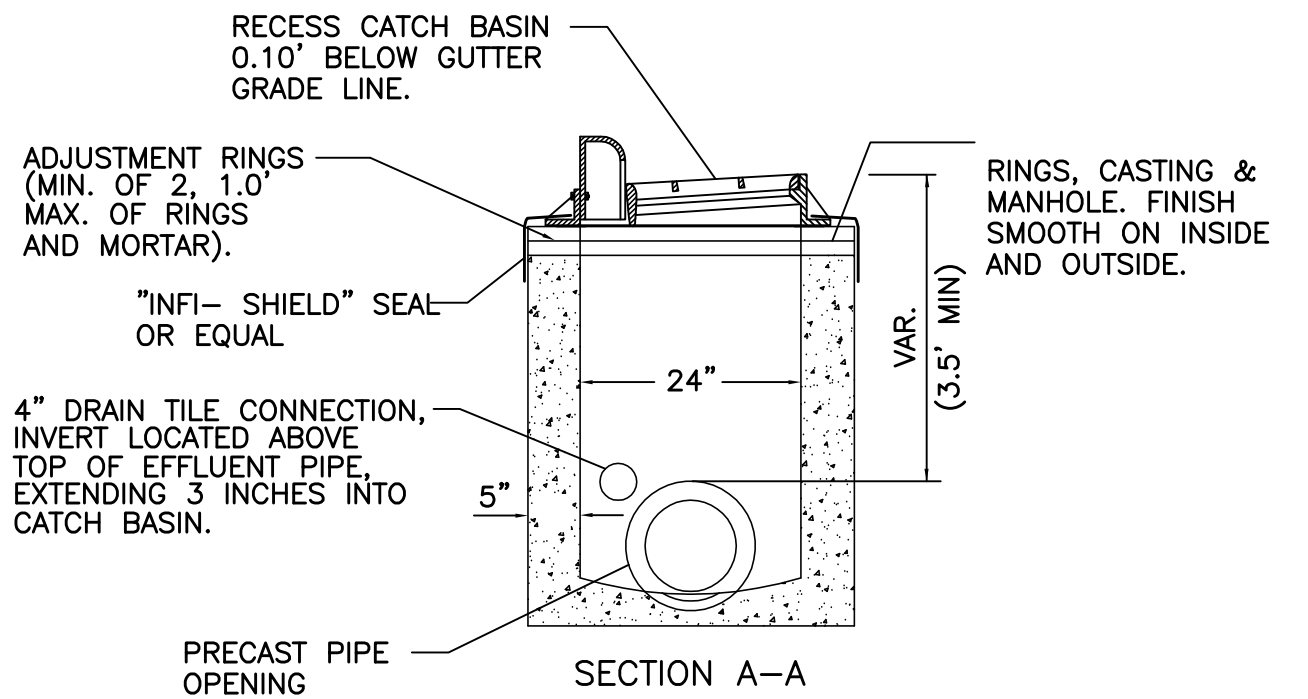
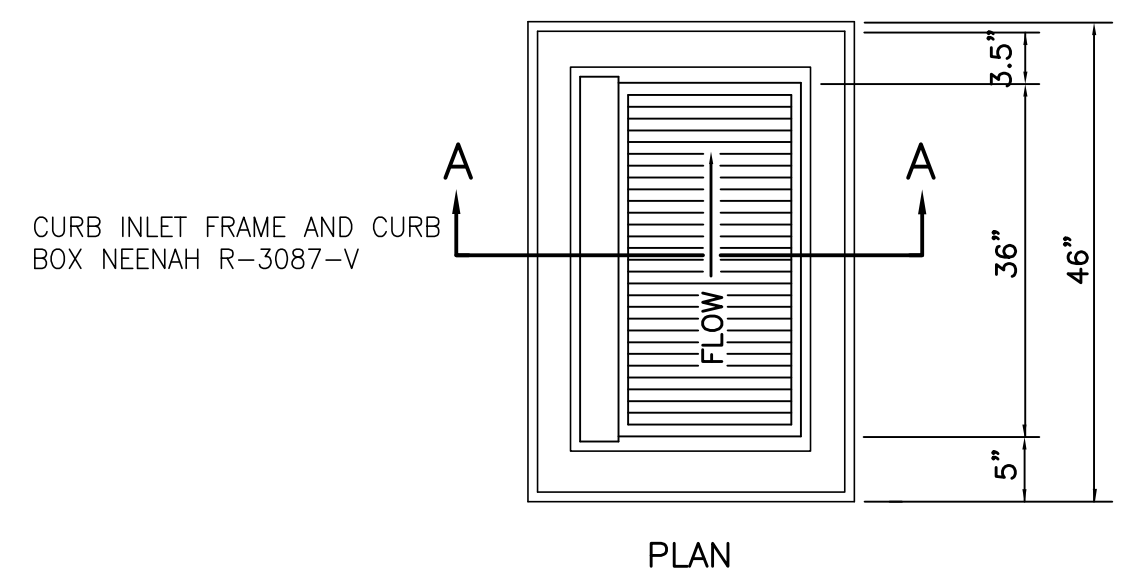


1. PROVIDE 2% CROSS-SLOPE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM TRAIL SURFACE THROUGHOUT LENGTH OF TRAIL.

11 BICYCLE-PEDESTRIAN PATH
 C5 NO SCALE

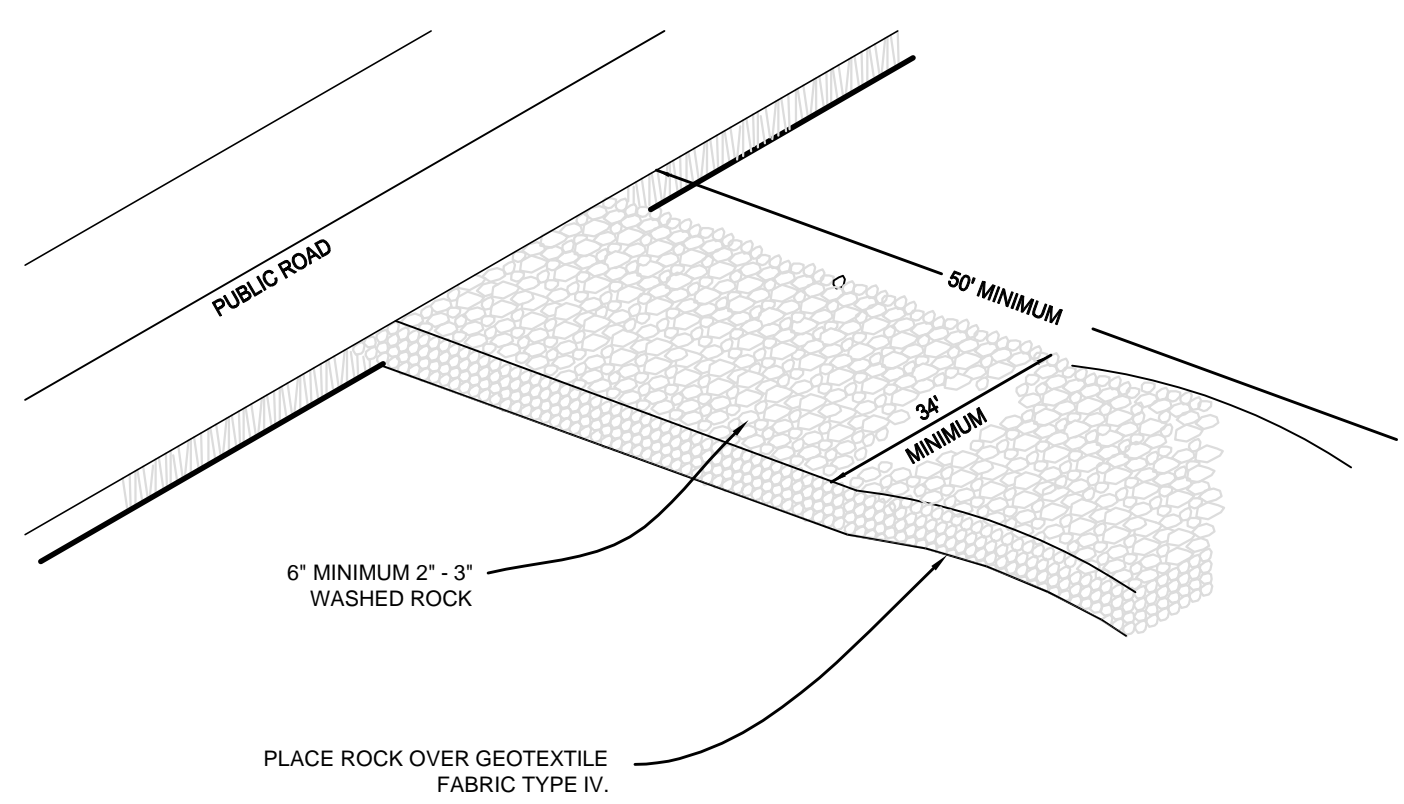


5 PARALLEL CURB RAMP
 C5 NO SCALE

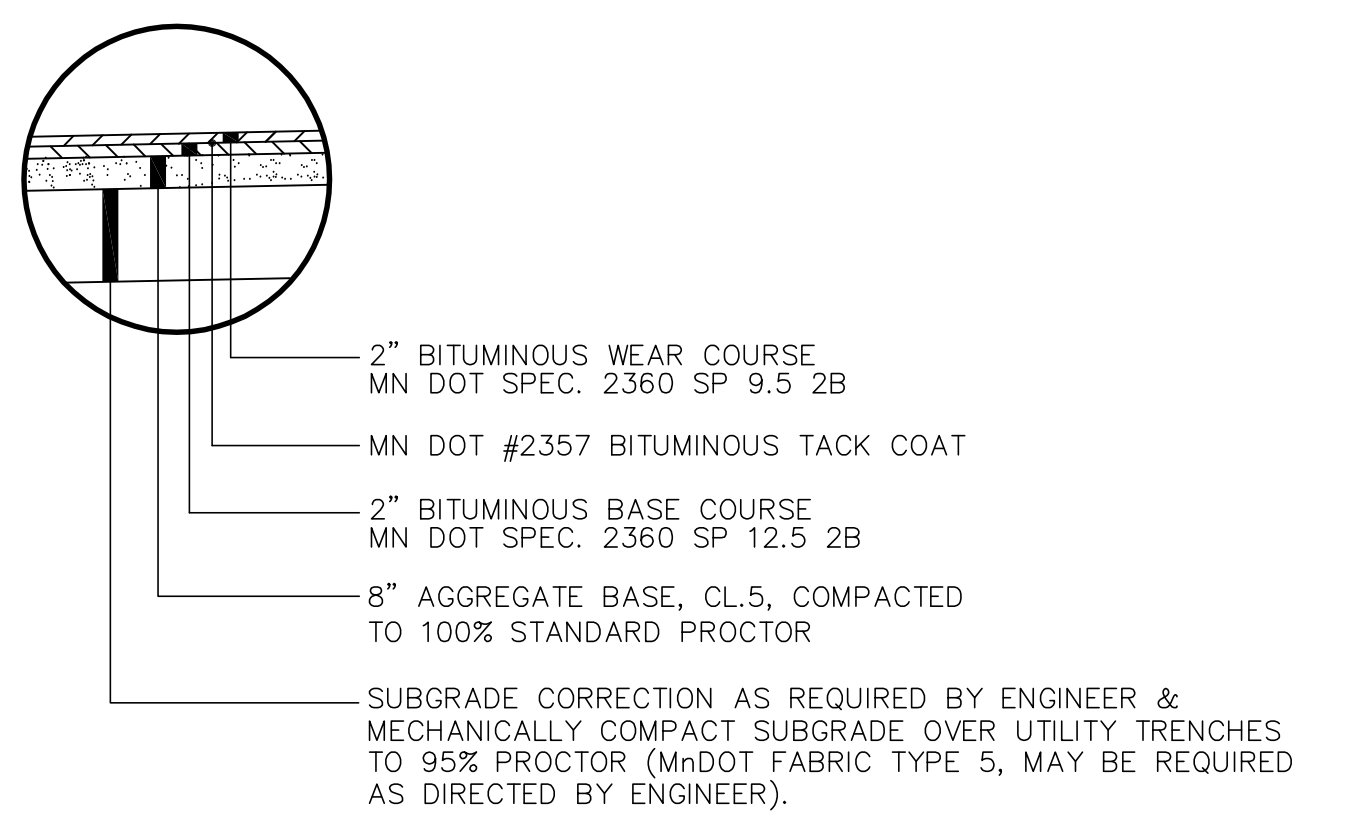


PRECAST REINFORCED CONCRETE CATCH BASIN & BASE SLAB PER ASTM C478

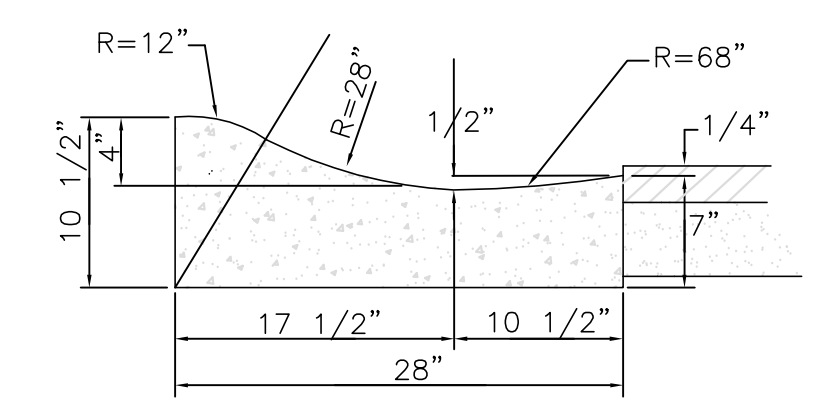
8 CATCH BASIN
 C5 NO SCALE



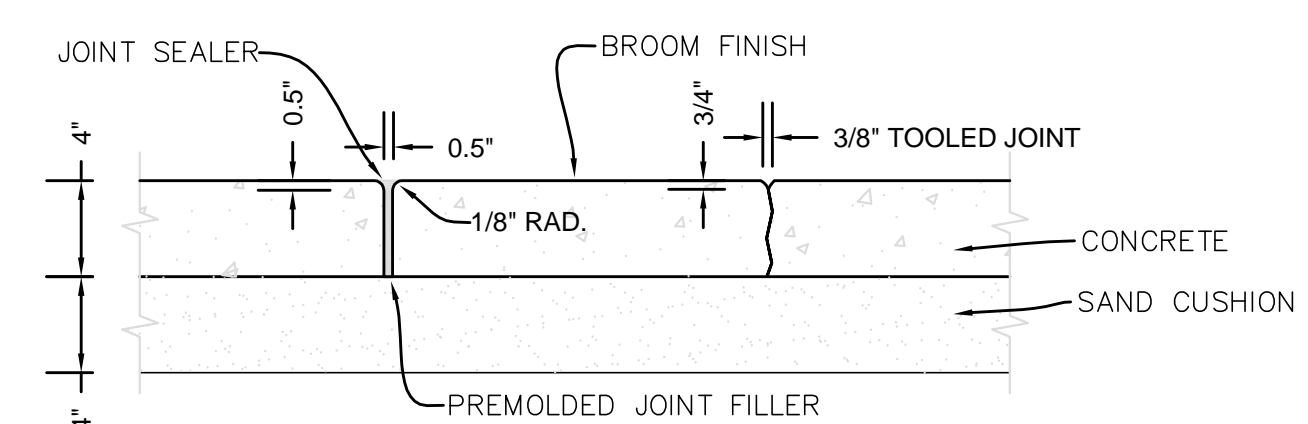
6 ROCK CONSTRUCTION ENTRANCE
 C5 NO SCALE



2 B612 CURB & GUTTER
 C5 NO SCALE



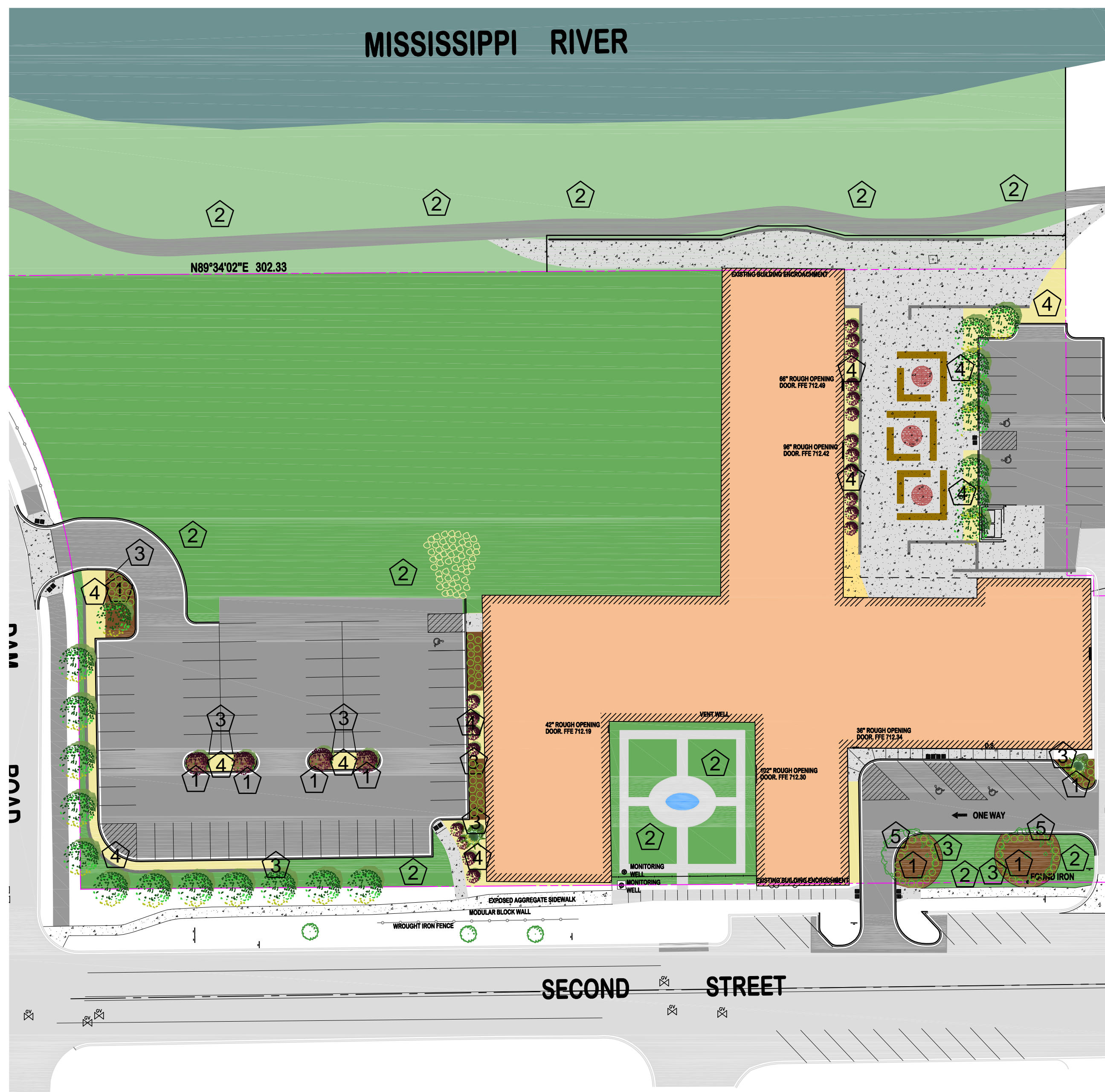
3 SURMOUNTABLE CURB & GUTTER
 C5 NO SCALE



NOTES:
 TOOLED JOINTS:
 1) JOINT SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE ON PLANS.
 EXPANSION JOINTS:
 1) WHERE WALK BUTTS ANY FIXED OBJECT SUCH AS WALLS, CURBS, MANHOLES, ETC.
 2) 45' ON CENTER MAXIMUM OR AS SHOWN ON PLANS.
 3) JOINT SEALER SHALL MEET ASTM D-412, GRAY, SELF LEVELING, EPOXY, AS WITH "QUICKJOINT 300" OR EQUAL.

4 CONCRETE SIDEWALK DETAIL
 C5 NO SCALE

MISSISSIPPI RIVER

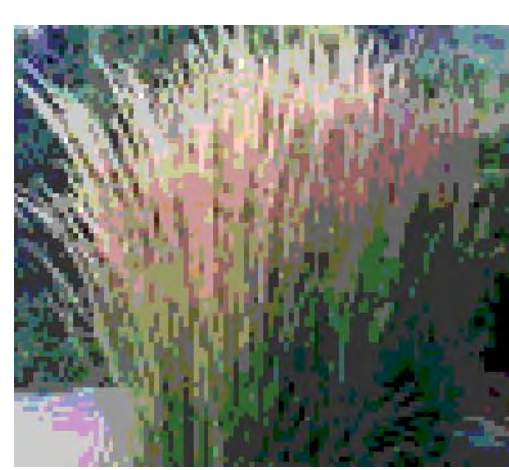


PLANT PALATE

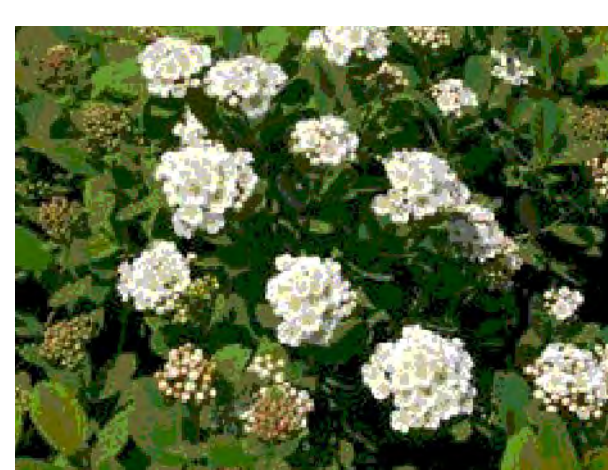
| | Plant Name | Latin Name | Size | Type |
|---|--------------------------|--|-------------|-----------|
| A | Autumn Blaze Maple | Acer x freemanii 'Jeffersred' | 2-1/2" DIA. | B&B |
| B | Prairie Fire Crab Apple | Malus sp. 'Prairiefire' | 2-1/2" DIA. | B&B |
| C | Snowdance Japanese Lilac | Syringa reticulata 'Snowdance' | 2-1/2" DIA. | B&B |
| D | Royal Red Norway Maple | Acer platanoides 'Royal Red' | 2-1/2" DIA. | B&B |
| E | Fat Albert Blue Spruce | Picea pungens 'Fat Albert' | 2-1/2" DIA. | B&B |
| F | River Birch Clump | Betula nigra 'Heritage' 'Clump' | 10-FT | B&B |
| G | Diablo Nine Bark | Physocarpus opulifolius 'Monlo.' 'Diablo' | #5 | Container |
| H | Spirea Tor Birchleaf | Spiraea betulifolia 'Tor' | #2 | Container |
| J | Purple Emperor Sedum | Sedum 'Purple Emperor' | #1 | Container |
| K | Strawberry Candy Daylily | Hemerocallis 'Strawberry Candy' | #1 | Container |
| L | Karl Foerster Reed Grass | Calamagrostis x acutiflora 'Karl Foerster' | #1 | Container |
| M | Cardinal Dogwood | Cornus sericea 'Cardinal' | #5 | Container |



Strawberry Candy Daylily



Karl Foerster Reed Grass



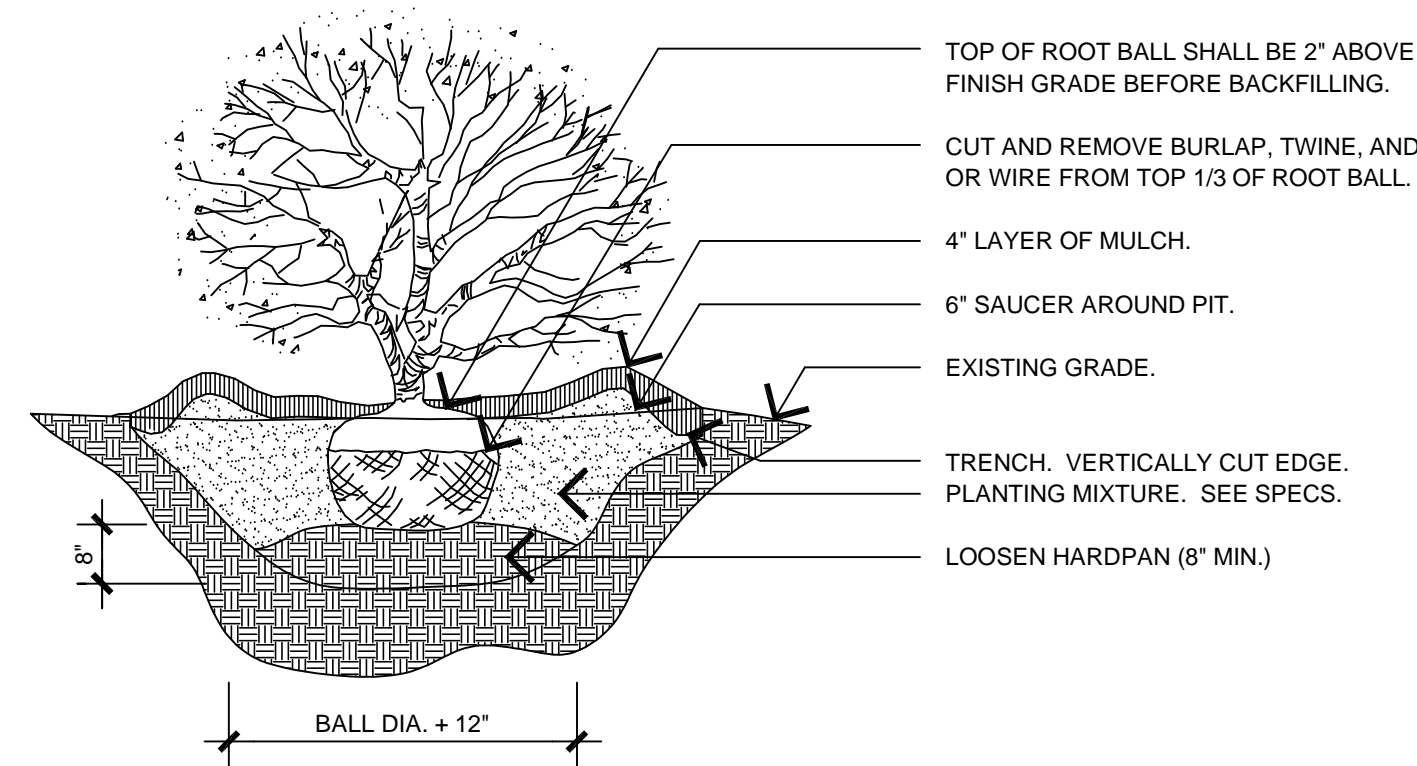
Spirea Tor Birchleaf



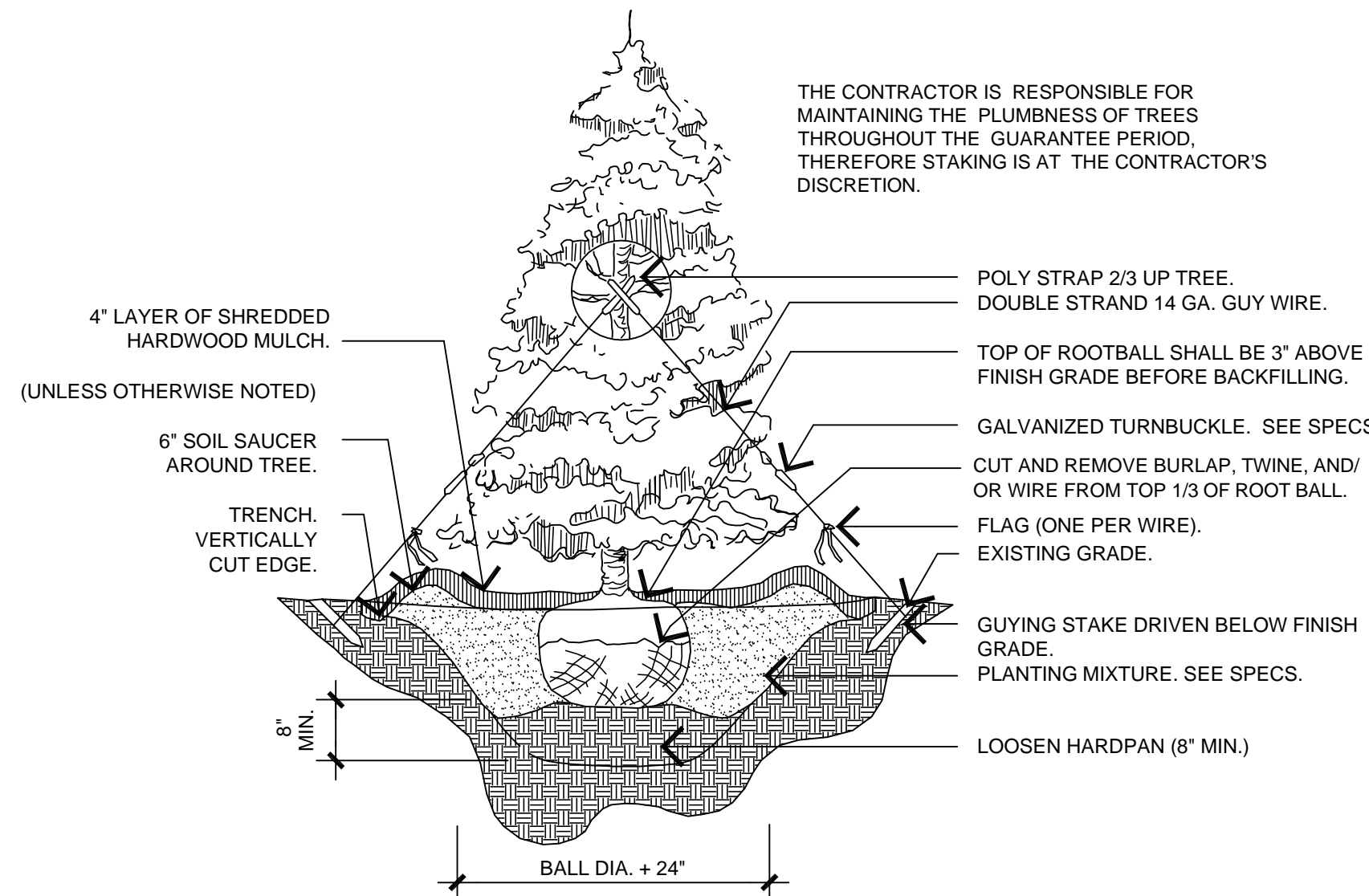
Diablo Nine Bark



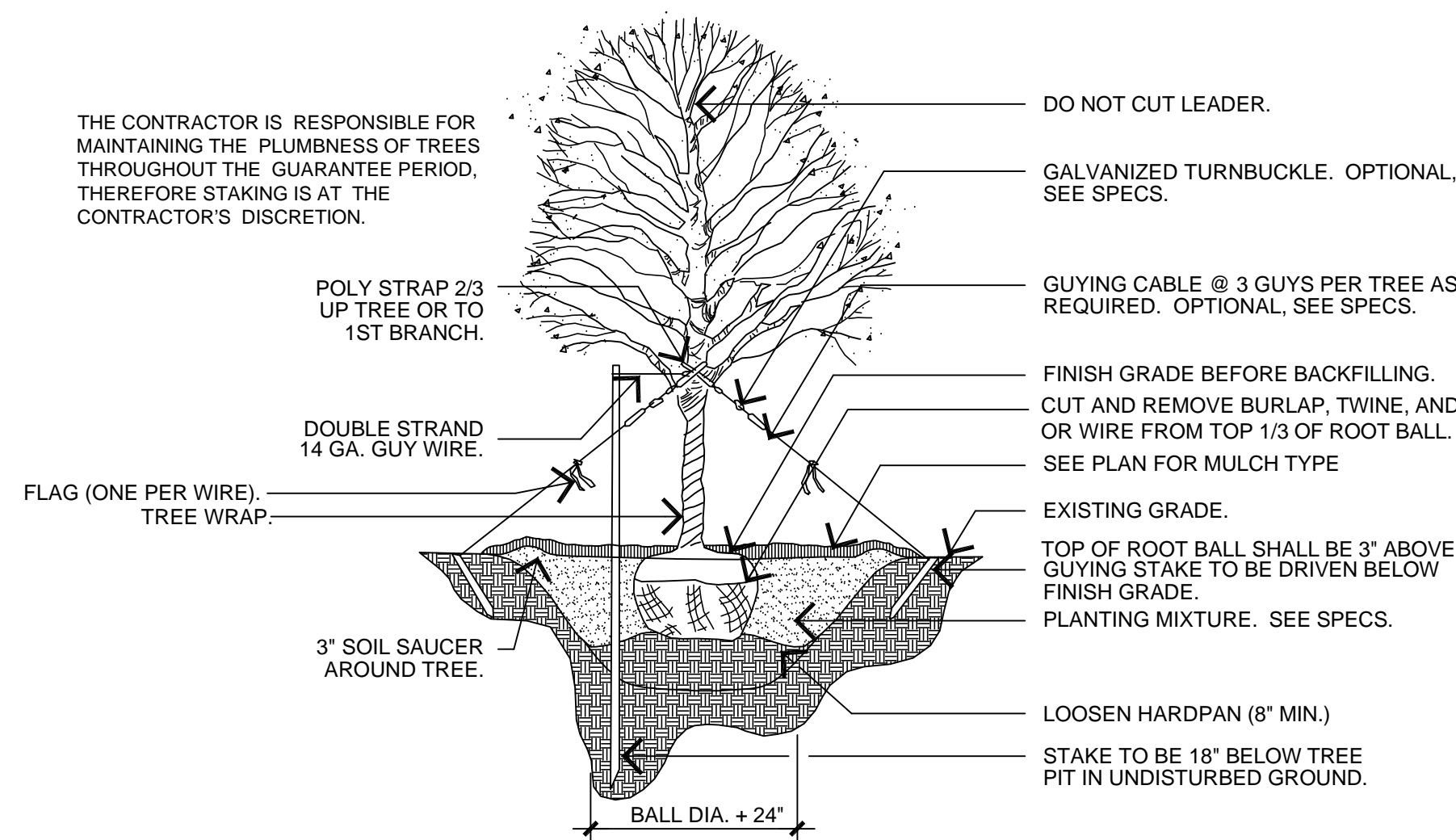
Purple Emperor Stonecrop



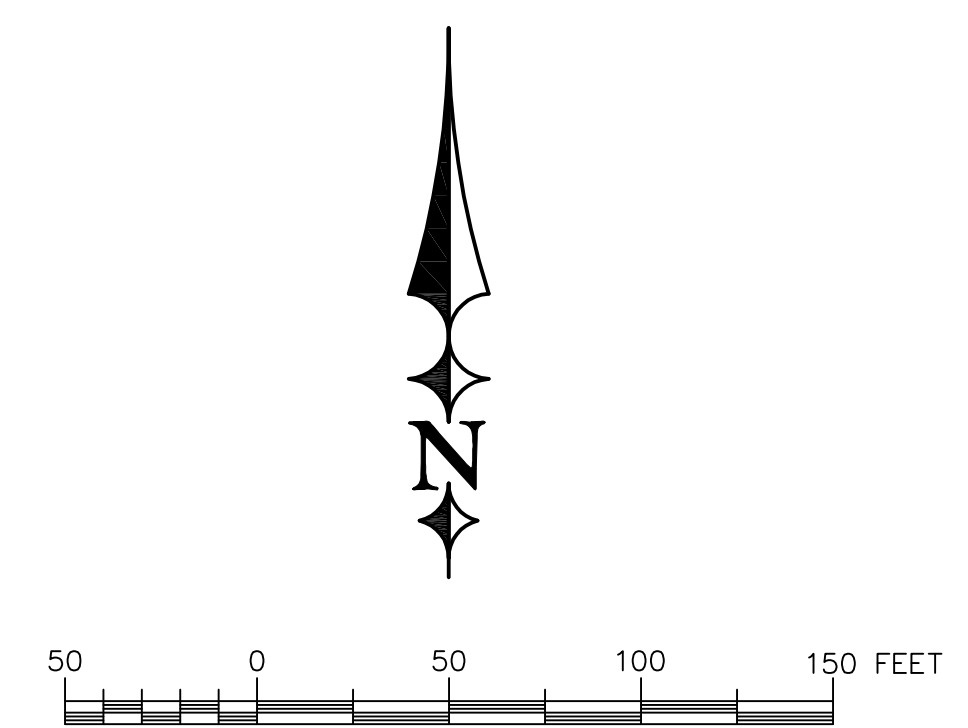
SHRUB PLANTING



CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING



LEGEND:

- EXTERIOR PROPERTY BOUNDARY
- DENOTES PROPOSED DECIDUOUS TREE
- DENOTES PROPOSED ORNAMENTAL TREE
- DENOTES PROPOSED CONIFEROUS TREE
- DENOTES PROPOSED #5 SHRUB (5 TO 6-FT MATURITY SIZE)
- DENOTES PROPOSED #5 CONIFEROUS SHRUB (2 TO 3-FT MATURITY SIZE)
- DENOTES PROPOSED #1 PERENNIAL

KEYED NOTES:

- 6" COARSE SHREDED HARDWOOD MULCH (NO FABRIC)
- 6" OF TOPSOIL AND HYDROSEED 220 LBS./ACRE LOW GROW FESCUE WITH 20 LBS./ACRE ANNUAL RYE, WITH TACKIFIER AND FERTILIZER.
- HEAVY DUTY BROWN METAL EDGING.
- 4" OF 2"-4" LIMESTONE ROCK OVER MNDOT TYPE IV GEOTEXTILE, NON-WOVEN
- APPLY A DEEP ROOT FERTILIZER TO EXISTING BOX ELDER(S) TO REMAIN.

NOTES:

- ALL PLANTING BEDS SHALL RECEIVE MIN. 6" TOPSOIL, HEAVY LANDSCAPE FABRIC AND BROWN METAL EDGING WHERE MULCH MEETS LAWN.
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL
- ENTIRE SITE SHALL BE IRRIGATED. DESIGN/BUILD BY CONTRACTOR.
- SEE PLAN FOR AREAS OF SEED AND BLANKET AREAS. AREAS CALLED OUT FOR SEEDING SHALL RECEIVE LOW GROW FESCUE MIX FROM TWIN CITY SEED COMPANY AND BE SEEDED AT A RATE OF 220 LBS. PER ACRE, W/ 20LBS/ACRE ANNUAL RYE.
- BUILDING CONTRACTOR SHALL INCLUDE COST OF ELECTRICAL AND PLUMBING FOR INSTALLATION OF IRRIGATION SYSTEM. IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.
- MAINTENANCE STRIP AND OTHER AREAS IDENTIFIED FOR MULCH SHALL BE 4" MINUS WASHED LIMESTONE PLACED AT A MIN. DEPTH OF 4" OVER GEOTEXTILE FABRIC TYPE IV. PERENNIAL AND ANNUAL PLANTING AREAS SHALL RECEIVE 6" OF COARSE SHREDED HARDWOOD MULCH WITH NO FABRIC.

ERICKSON CIVIL

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Phone (612) 309-3804

www.ericksoncivilsite.com

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TODD A. ERICKSON, PE

40418

LICENSE NO.

09/03/2015

DATE:

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Hastings, MN 55033

OWNER/DEVELOPER

GREAT RIVERS LANDING
HASTINGS, MINNESOTA

PROJECT TITLE

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JOB NO. 15-143

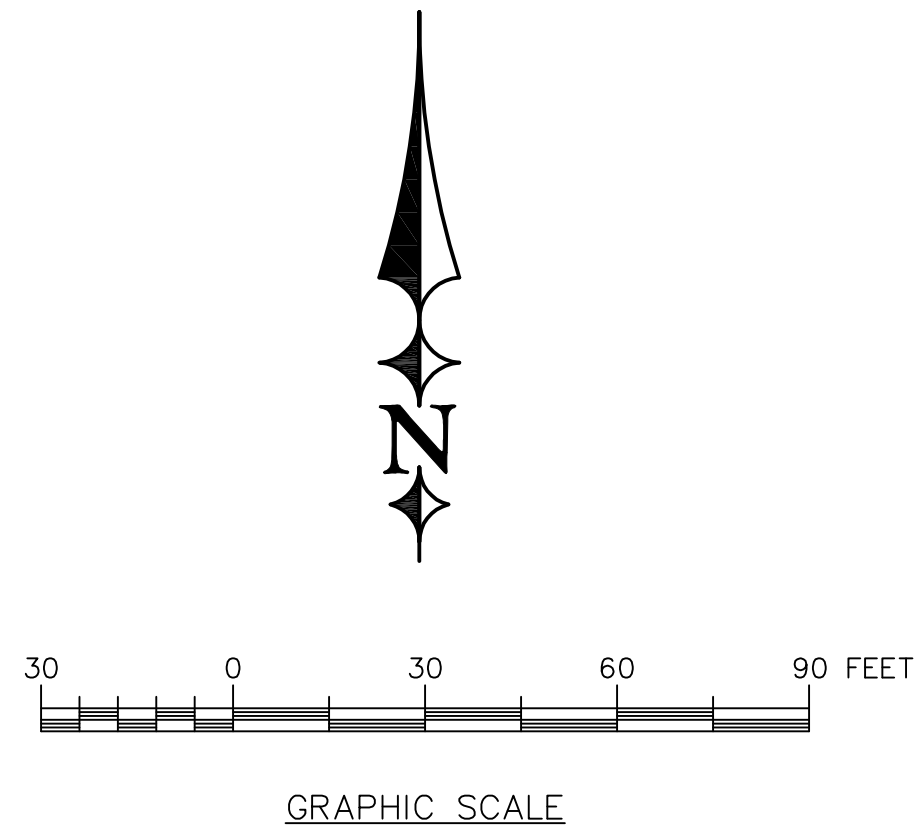
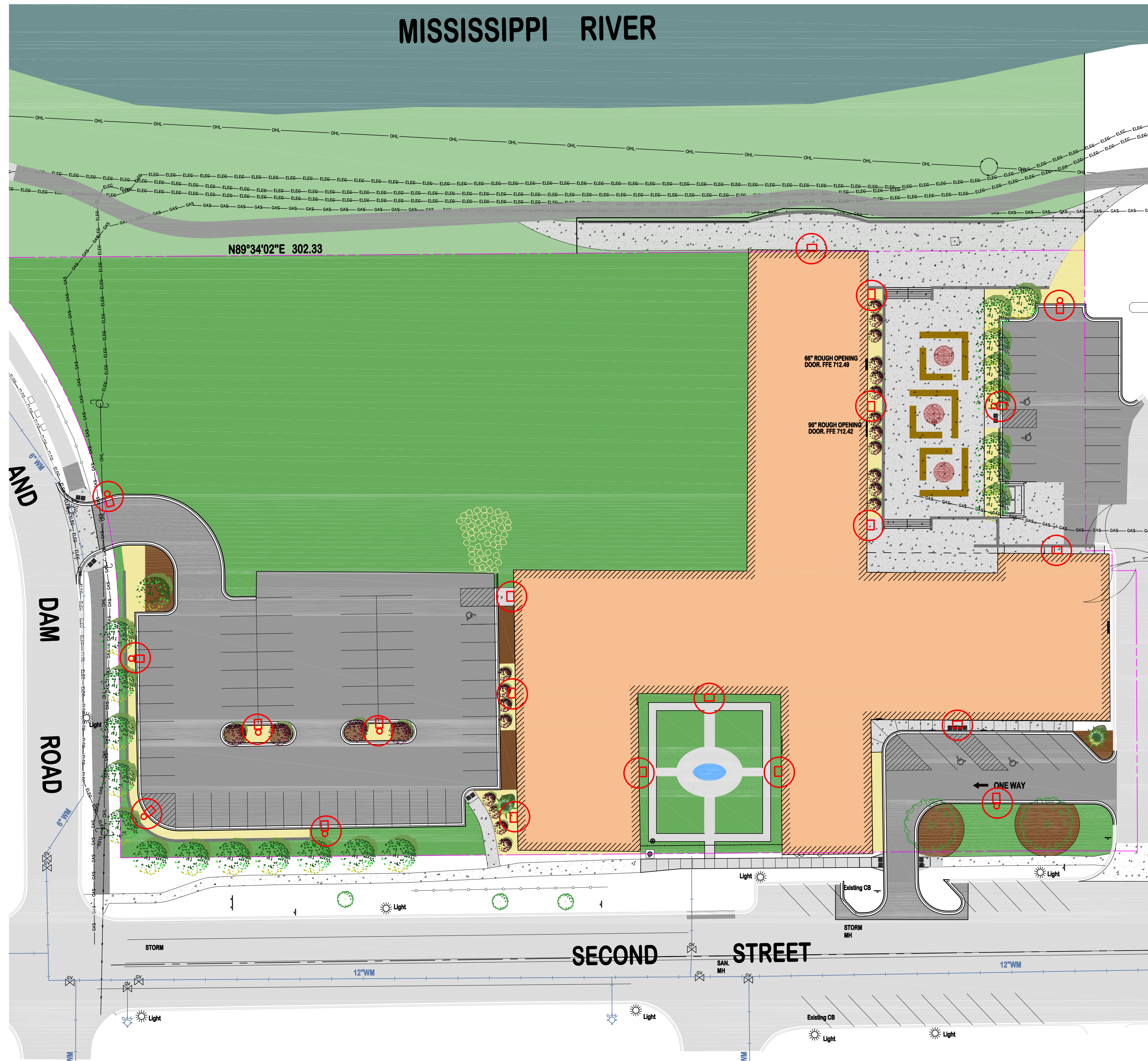
SHEET TITLE
LANDSCAPE PLAN

SHEET NO.

L1

SHEET 1 OF 1

MISSISSIPPI RIVER



LEGEND:

- PROPOSED BOUNDARY
- SINGLE - 20-FT POLE MOUNTED - LED - FULL CUT OFF - SR3 TWO ENGINE
- SINGLE - 14-FT BUILDING MOUNTED - LED - FULL CUT OFF - CSXW SR4
- 4.3 CALCULATED LUMEN

NOTES:

- 1) FINAL DESIGN OF ELECTRICAL SYSTEM BY LICENSED ELECTRICAL CONTRACTOR
- 2) WIRING LOCATION AND SIZING TO BE DETERMINED BY INSTALLING ELECTRICIAN
- 3) INSTALLATION SHALL INCLUDE CONNECTION TO EXISTING POWER PANEL ON INTERIOR OF BUILDING
- 4) INSTALLATION SHALL INCLUDE THE INSTALLATION OF A TIMER AND LIGHT SENSOR

PARKING LOT LIGHTING

CSX1 LED LED Area Luminaire

Specifications:
 Length: 48.00"
 Width: 18.00"
 Height: 1.00"
 Weight: 15.00 lbs

Ordering Information:
 EXAMPLE: CSX1 LED 1 3087024K SR3 MVOLT SPA 6000D

| Code | Part No. | Description | Quantity | Unit Price | Total Price |
|------|----------|-------------------------|----------|------------|-------------|
| CSX1 | 1 | CSX1 LED Area Luminaire | 1 | 15.00 | 15.00 |

BUILDING MOUNTED LIGHTING

CSXW LED LED Wall Luminaire

Specifications:
 Height: 1.00"
 Width: 18.00"
 Weight: 15.00 lbs

Ordering Information:
 EXAMPLE: CSXW LED 1 3087024K SR3 MVOLT 6000D

| Code | Part No. | Description | Quantity | Unit Price | Total Price |
|------|----------|-------------------------|----------|------------|-------------|
| CSXW | 1 | CSXW LED Wall Luminaire | 1 | 15.00 | 15.00 |

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Hastings, MN 55033
 Phone (612) 309-3804
 www.ericksoncivilsite.com

| | |
|----------------|-------------------|
| DRAWING PHASE: | OWNER REVIEW |
| | AGENCY REVIEW |
| | BID DOCUMENT |
| | FOR CONSTRUCTION |
| | AS-BUILT DOCUMENT |

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd A. Erickson
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 09/03/2015
 DATE:

OWNER/DEVELOPER
CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

PROJECT TITLE
COVENTRY COOPERATIVE
HASTINGS, MINNESOTA

| NO. | REVISION DESCRIPTION | DATE |
|-----|----------------------|------|
| | | |
| | | |
| | | |

JOB NO. 15-143
 SHEET TITLE
LIGHTING PLAN
 SHEET NO.
E1
 SHEET 1 OF 1



**GREAT RIVER LANDING
HASTINGS, MINNESOTA**





KEY

- Public Improvement Area
- 1 Restaurant Outdoor Dining
- 2 Terraced Plaza
- 3 1st Floor Bike/ Boat Rental & Café
- 4 Plaza Entrance
- 5 Plaza with Outdoor Dining
- 6 Interactive Water Feature
- 7 Open Lawn with Sculptural Seating
- 8 Trail Access/ Lower Plaza/ Bike Parking
- 9 Mississippi River Trail
- 10 Sculptural Mounding/ Landscape
- 11 Bio-retention with Sculptural Mounding
- 12 Parking

GREAT RIVER LANDING
 HASTINGS, MINNESOTA
 SCHEMATIC PUBLIC PLAZA PLAN . 20 JUNE 2014

PROJECT NORTH
 1" = 60'-0"





Green Infrastructure Goals

Total Rainwater Capture Area (as outlined): 122,500 Square Feet
 Gallons of Water during One-Inch Rain Event: 68,700 Gallons
 Based on preliminary design and represents optimal capture within defined area.



A Bioswale / Rain Gardens
 The bioswale allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



B Roof Runoff
 Water will be collected from the roof and piped to an underground cistern that is connected to an irrigation system. Once the cistern is full, excess roof water will be diverted to the bioswale.



C Irrigation / Cistern
 The cistern allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



D Road Runoff
 Approximately 14,000 SF of stormwater runoff from Second Street and Lock and Dam Road can be diverted into tree wells and bioswales. During a one-inch rain event, potential capture could be 7,800 gallons.



E Cistern
 The cistern will receive roof water and be utilized for irrigation of the lawn and other landscaped areas.



F Parking Lot Runoff
 Water will sheet flow toward the bioswale / rain gardens and allow for absorption of 13,000 gallons of water during a one inch rain event. Permeable paving will be explored should the capacity of the rain gardens be maximized.



G Lawn Infiltration
 The oval lawn will accommodate a wide range of uses ranging from picnics to festivals. The lawn will be engineered for good drainage and optimal turf growth, allowing for summer long events to take place.



H Sculptural Berming
 The park consists of elliptical forms, including berming throughout the rain gardens. Children of all ages can climb onto the berms to get a closer look at the perennial plantings within the bioswales or lay back and watch the clouds go by.



Bioswale / Rain Gardens

The bioswale allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



Roof Runoff

Water will be collected from the roof and piped to an underground cistern that is connected to an irrigation system. Once the cistern is full, excess roof water will be diverted to the bioswale.



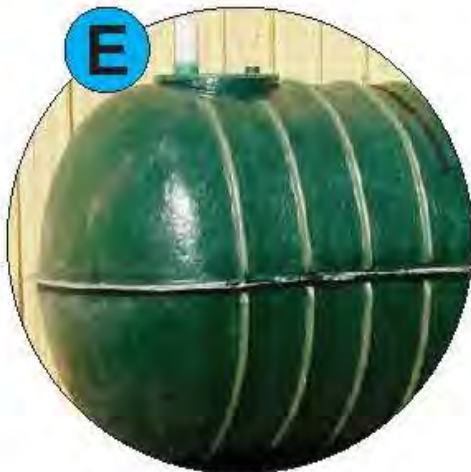
Irrigation / Cistern

The cistern could be sized to capture a one inch rain event over the roof area, approximately 7,300 gallons of water! The water will be stored below the ground until such time as the irrigation system is used to maintain the landscaping during time of drought.



Road Runoff

Approximately 14,000 SF of stormwater runoff from Second Street and Lock and Dam Road can be diverted into tree wells and bioswales. During a one-inch rain event, potential capture could be 7,850 gallons.



Cistern

The cistern will receive roof water and be utilized for irrigation of the lawn and other landscaped areas.



Parking Lot Runoff

Water will sheet flow toward the bioswale / rain gardens and allow for absorption of 13,000 gallons of water during a one inch rain event. Permeable paving will be explored should the capacity of the rain gardens be maximized.



Lawn Infiltration

The oval lawn will accommodate a wide range of uses ranging from picnics to festivals. The lawn will be engineered for good drainage and optimal turf growth, allowing for summer long events to take place.



Sculptural Berming

The park consists of elliptical forms, including berming throughout the rain gardens. Children of all ages can climb onto the berms to get a closer look at the perennial plantings within the bioswales or lay back and watch the clouds go by.