



Planning Commission Memorandum

To: Planning Commission

From: John Hinzman, Community Development Director

Date: October 12, 2015

Item: Confluence Development – Public Hearing #2015-29 – Preliminary Plat\Final Plat\Site Plan\Special Use Permit – Great Rivers Landing (Hudson Building) – 200 West 2nd Street.

PLANNING COMMISSION ACTION REQUESTED:

Hold a public hearing to consider the following actions related to the Great Rivers Landing, a rehabilitation of the former Hudson Manufacturing Facility located at 200 West 2nd Street into housing and commercial uses:

1. Preliminary and Final Plat
2. Site Plan
3. Special Use Permit – 1st Floor Residential in the DC Zoning District
4. Special Use Permit – Shoreland Ordinance – multiple family building exceeding five units.
5. Special Use Permit – Shoreland Ordinance – Impervious Surface Exceeding 25%
6. Special Use Permit – Shoreland Ordinance – Movement of over 50 cubic yards in the Shoreland Impact Zone.

Final Action is not sought at this time. Staff continues to review plans and anticipates formal action by the Commission at the October 26th Meeting.

HISTORY

Redevelopment of the Hudson Site has been a long term objective. Recent events include:

- **Reshaping the Mississippi Riverfront** - Over the past 30 years, the City of Hastings has prioritized the removal of industrial activities from the downtown riverfront. The 2003 Heart of Hastings Plan further detailed redevelopment aspirations of the Hudson Site, calling for rehabilitation of the historic portions of the building for a mixed residential commercial development.

- **Hastings Bridge Project** - Partial acquisition and demolition of the property as part of the TH 61 Mississippi River Bridge Project significantly altered Hudson's ability to continue operations at its current site. MN DOT funding for partial purchase and Hudson's desire to relocate its operations provided a unique opportunity to purchase the site for redevelopment.
- **HEDRA Purchase of the Hudson Site** - The Hastings Economic Development and Redevelopment Authority (HEDRA) purchased the site in December, 2010 for \$3.0 million. \$2.855 million was financed through limited tax obligation bonds paid through HEDRA's annual levy. A \$250,000 Redevelopment Incentive Grant (RIG) from the Dakota County Community Development Agency (CDA) also assisted in purchasing the building.
- **Reuse Study – Preserve as a Mixed Use Development** - Upon purchase of the building, the City and HEDRA further studied potential redevelopment options for the building. As part of historic mitigation for the bridge project, MN DOT funded a reuse study of the Hudson Building. Stark Preservation Planning completed the report in 2011 and recommended rehabilitation of all areas of the building constructed before 1945. Findings of the reuse study were consistent with the overwhelming response by citizens and neighbors to preserve and reuse the building as a mixed use facility.
- **Environmental Investigation and Cleanup** – Phase I and II Environmental Reviews have been completed. The Minnesota Pollution Control Agency (MPCA) has approved our Response Action Plan (RAP) for environmental cleanup. Partial soil remediation, and asbestos\hazardous materials abatement have begun. To date, all environmental review and cleanup expenses have been fully paid through grant dollars.
- **Nearly \$3 Million in Grant Funding Received to Date** – The City has received 17 grants totaling \$2.9 million to assist in site acquisition, environmental review, environmental cleanup, planning, and site development.

Please see the attached Historic Redevelopment Timeframe for further information.

Confluence Development

Beginning in 2012, HEDRA reviewed several concepts for redevelopment from a variety of development firms. Confluence Development, LLC a partnership between Pat Reagan (Hastings Bus Company, Premier Banks, and Schoolhouse Square) and Bill Weyland of Louisville, Kentucky based City Properties (developer of many historic mixed use projects in Louisville) was chosen as the preferred developer. Confluence was chosen based upon its extensive historical rehabilitation experience, riverfront development successes, and concept for a mixed use development. HEDRA and Confluence entered into a Preliminary Development Agreement for the site in January 2014.

PROPOSAL

Great Rivers Landing Development – Hudson Manufacturing

Confluence Development proposes to transform the Hudson facility into Great River Landing, a mixed use rehabilitation of the remaining Hudson Building to consist of:

- 60 apartment units
- Gallery\Art Space
- Retail
- Restaurant
- Events Space
- River Outfitter

Phase II Development – 1st National Bank

Confluence has also purchased the former 1st National Bank Building located at 119 2nd Street West (across 2nd Street from Hudson) for inclusion as a Phase II of the development. Preliminary plans include construction of a hotel or construction of additional parking for the entire Great Rivers Landing.

BACKGROUND

Existing Condition

The 3.8 acre site consists of seven parcels owned by the HEDRA containing a 100,000 s.f. two story manufacturing building formerly owned and operated by Hudson Manufacturing. The existing building was constructed in a series of phases between 1909 and 1945. The site is eligible for placement on the Historic Register. Site designation is planned as part of the development. The Mississippi River Trail traverses the property's north end.

Comprehensive Plan Classification

The site is designated as "Mixed Use" in the 2030 Hastings Comprehensive Plan. Site development is consistent with the Plan.

Zoning Classification

The site is zoned DC – Downtown Core. The DC district allows for a mixture of both residential and commercial uses.

Adjacent Zoning and Land Use

The following land uses about the site

	Existing Use	Zoning	Comprehensive Plan
North	Mississippi River		
East	TH 61 Bridge Bella Vista Restaurant	C-3 Community Regional Commerce	Mixed Use
South	2 nd Street W 1 st National Bank Residences	C-3 Community Regional Commerce R-2 Medium Density Residence	Mixed Use Low Density Resident.
West	Lock and Dam Road Residences	R-2 Medium Density Residence	Low Density Resident.

INITIAL PLAN REVIEW

Streets

No new public streets. All access drives would be privately owned and maintained.

Park Land Dedication

Park land dedication is required. Physical land dedication or cash in lieu of dedication may be considered. The Park and Recreation Commission will review park dedication requirements. Dedication of park land along the Mississippi Riverfront is proposed.

Minnesota Department of Transportation Review

Plans will be submitted to the Minnesota Department of Transportation for review.

Dakota County Highway Department Review

Plans will be submitted to the Dakota County Highway Department for review.

Vehicular Access and Circulation

- **Lock and Dam Road** – The existing entrance from Lock and Dam Road would be moved slightly north. The access point is acceptable.
- **2nd Street Parking Lot** – A new parking and dropoff area for the restaurant and event center is proposed from 2nd Street near the southeast corner of the building. The entrance to 2nd will need to be approved by Dakota County Highway.

- **2nd Street Courtyard.** The existing parking lot entrance from 2nd street to the center court area would be removed and replaced with a private park.

Delivery and Loading Area

A delivery and loading area is proposed near the east end of the building.

Pedestrian Access

Sidewalks and trails exist along 2nd Street, Lock and Dam Road, and the Mississippi River. The riverfront trail will be improved and may be shifted further south to better integrate with the site.

Parking

Existing parking for the proposed uses is insufficient. Additional parking may be provided as follows:

- **Parking Structure** - Convert the existing surface parking lot located near the southwest corner of the site into a structured parking facility. A \$1.5 million grant application for construction of a parking facility has been submitted to Metropolitan Council. The grant has been selected for consideration and looks very promising. Further information on the grant will be available in late October\November.
- **1st National Bank** – The 1st National Bank property can be utilized for parking under a shared parking agreement.

Architectural Elevations

Confluence is seeking Historic Tax Credits to assist in financing the project, requiring review by the State Historic Preservation Office. The building will retain its historic character and is consistent with both Zoning Architecture Standards and Heart of Hastings Design Standards.

Tree Removal

- **Riverfront** - Reconfiguration of the riverfront trail will result in the loss of trees along the Mississippi River. The trees were originally planted to serve as screening between the 1974 building addition (demolished in 2012) and the river trail. Removal of the industrial operation eliminates the need for screening; the developer desires to better connect the site to the river trail. Any removals will need to adhere to tree preservation replacement guidelines.
- **2nd Street** – Four mature shade trees currently exist near the southeast corner of the building. The two trees nearest to the building are proposed for removal, the remaining two trees near 2nd Street would remain. Removal is necessary to accommodate the proposed parking and drop-off area.

Landscape Plan

The project will include substantial landscape and park improvements aided by a \$980,000 Livable Communities Grant awarded to the City earlier this year. The developer is awaiting final determination of a similar grant for the parking facility to complete final landscape plans. The Mississippi River Trail would remain public. Park areas south of the trail would be privately owned and maintained but would be subject to an easement for public use.

Lighting Plan

A photometric lighting plan will need to be finalized.

Grading, Drainage, Erosion Control and Utility Plan

The Public Works Department will review the grading and utility plans.

ATTACHMENTS

- Location Map
- Development Plans
- Hudson Redevelopment Timeframe

LOCATION MAP

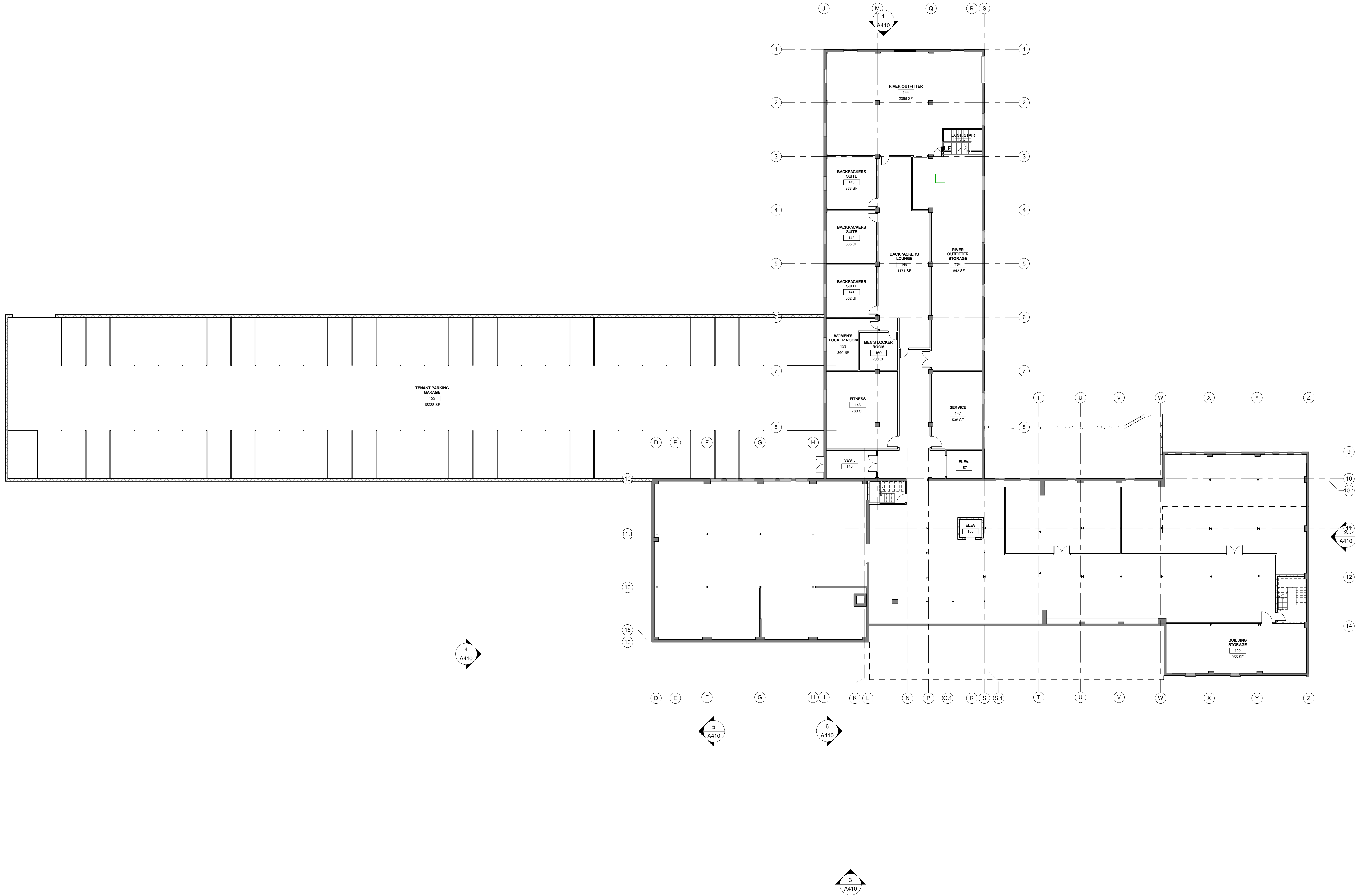


**Great River Landing - Hudson Manufacturing
Historic Redevelopment Timeline**

2003	Heart of Hastings Plan	City Council adoption of the Heart of Hastings Master Plan identifying reuse of the Hudson Manufacturing Building as a mixed use development
2009	Hastings Bridge Project Planning affects operations	Reconstruction of the TH 61 Mississippi River Bridge requires acquisition of a portion of the Hudson Building. Additional space is needed to preserve operations.
2010	Intek Building Available	Intek Manufacturing consolidates operations in Hastings. The 800 East 10 th Street building is available for sale. The building is suitable for a relocation of Hudson's operations.
February 2010	\$250,000 Grant Award – Dakota CDA	City receives a Redevelopment Incentive Grant (RIG) for purchase of the Hudson Building
Spring 2010	HEDRA-Hudson-Intek Negotiations	HEDRA, Hudson, and Intek discuss sale of the Intek Building to Hudson, and sale of the Hudson Building to HEDRA.
August 2010	Completion of Phase I Environmental Site Assessment	Liesch completes Phase I analysis of environmental contaminants.
December 2010	Hudson Purchases Intek Building	Hudson purchases the former Intek Building at 800 East 10 th Street.
December 2010	HEDRA purchases Hudson Building	HEDRA purchases the Hudson Manufacturing building at 200 West 2 nd Street for \$3.0 million dollars.
February - December 2011	Hudson Reuse Study	Stark Preservation Planning completes a reuse study for the building. The study included open houses and community input. Demolition of the 1974 addition is recommended with reuse of the remaining structure as a mixed use development. Cost of the study is fully paid by MN DOT
June 2011	\$145,000 Grant Award – Dakota CDA	City receives RIG Funding for partial demolition of the 1974 addition and environmental cleanup.
July 2011	\$50,000 Grant Award – Metropolitan Council	City receives Tax Base Revitalization Account (TBRA) funding for environmental cleanup
July 2011	Hudson Fully Vacates Structure	Hudson Manufacture completes their move to 800 East 10 th Street. Building becomes vacant.
August 2011	\$51,754 Grant Award – EPA – Dakota County	City received a Brownfield Assessment – Hazardous Substance Grant through Dakota County for environmental cleanup
April 2012	\$110,125 Grant Award – Dakota CDA	City receives RIG funding for demolition of the 1974 addition and environmental cleanup
April 2012	\$2,500 Grant Award – Dakota CDA	City receives RIG Planning funding for completion of a market study
April 2012	Completion of Phase II Environmental Site Assessment	Stantec completes Phase II analysis of environmental contaminants.

May 2012	\$18,618 Grant Award EPA – Dakota County	City received a Brownfield Assessment – Petroleum Grant through Dakota County for environmental cleanup
May 2012	Approval to Demolish 1974 Addition	City and HEDRA approve demolition of the 48,000 s.f. concrete tip-up addition consistent with the reuse plan.
September 2012	Initial Market Assessment	Maxfield Research completes an Initial Market Assessment for Redevelopment. Development of a mix of housing, retail, office and civic uses is supported. Fully paid through grant funding.
December 2012	Developer Roundtable	City and HEDRA conduct a roundtable with selected developers to determine interest in redeveloping the site.
March – October 2013	Developer Concepts	HEDRA review of redevelopment concepts by The Beard Group, Sherman and Associates, Artspace, and Confluence Development
March 2013	Rezoning of Property	Property is rezoned from I-1 Industrial to DC – Downtown Core
May 2013	\$238,865 Grant Award – Dakota CDA	City receives RIG funding for environmental cleanup.
May 2013	\$4,200 Grant Award – Dakota CDA	City receives RIG Planning funding to conduct a full market study
October 2013	Demolition of 1974 Addition	Rachel Contracting completes demolition of the 48,000 s.f. addition. The total cost of \$200,000 was fully paid through grant funding.
November 2013	Approval of Response Action Plan (RAP)	MPCA approval of the RAP cleanup plan for hazardous materials based on Phase II assessment.
December 2013	Selection of Confluence Development	HEDRA selects Confluence Development to redevelop the Hudson site. Confluence proposes to two options for reuse of the building. Option 1 includes for residential, restaurant, banquet, art, retail space, and rooftop use of the 1945 addition. Option 2 includes all of option one, except a hotel in lieu of a portion of the housing.
January 2014	Signature of Preliminary Development Agreement	HEDRA Authorizes signature of the agreement with Confluence Development.
June 2014	\$93,400 Grant Award – Metropolitan Council	City receives TBRA funding for asbestos and hazardous material removal.
October 2014	\$2,844 Grant Award – US EPA – Dakota County	City receives EPA Environmental Investigation funding via Dakota County for an invasive asbestos survey.
October – December 2014	Contaminated Soil Removal	Rachel Contracting completes contaminated soil excavation and removal from Areas 1 and 3 of the RAP. Total cost of \$78,000 is fully paid through grant funding.
November 2014	Completion of Full Market Study	Completion of Full Market Study by Maxfield and HVS. Funded through grant dollars.
December 2014	Hotel Concept Eliminated	Confluence Development eliminates the hotel concept from the approval. All other mixed use items remain.
December 2014	Extension of Preliminary Development Agreement	HEDRA agrees to extend the Preliminary Development Agreement until March 31, 2015.
December 2014	\$256,142 Grant Award – MN DEED	City receives a Contamination Cleanup Grant for soil and vapor remediation

January 2015	\$980,000 Grant Award – Metropolitan Council	City receives Livable Communities Demonstration Account (LCDA) funding for riverfront and site amenities
January 2015	\$78,000 Grant Award – Metropolitan Council	City receives TBRA funding for asbestos and hazardous material removal.
January – May 2015	Confluence Development Activities	Confluence hires an architect and engineer to complete project plans and continues to meet with interested commercial users
February 2015	Part 1 Historic Preservation Application	The National Park Service accepts the Part 1 application of Historic Tax Credit eligibility.
March 2015	Extension of Preliminary Development Agreement	HEDRA agrees to extend the Preliminary Development Agreement until June 30, 2015.
May 2015	Abatement of Asbestos and Hazardous Materials	Mavo Contracting completes removal of asbestos and hazardous materials with all costs paid through grant funding.
May 2015	Confluence Development Proforma	Development proforma is complete for City and HEDRA review
May 2015	\$600,000 Grant Award – US EPA	City receives three \$200,000 Brownfield Cleanup Grants for soil and vapor remediation
June 2015	Extension of Preliminary Development Agreement	HEDRA agrees to extend the Preliminary Development Agreement until July 31, 2015.
July 2015	Approval of Term Sheet	City and HEDRA approve the Term Sheet outlining conditions for sale and development.
July 2015	Extension of Preliminary Development Agreement	HEDRA agrees to extend the Preliminary Development Agreement until December 1, 2015
September 2015	\$1.5 Million Grant Application – Met Council	Application proceeds into the 2 nd round for consideration.

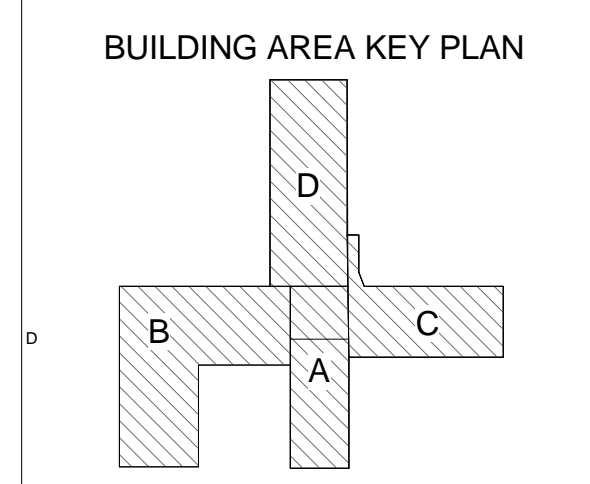


BASEMENT - OVERALL
1/16" = 1'-0"

I hereby certify this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA

Pamela Bakken Anderson
Date: 05.11.15 Reg. No: 21241

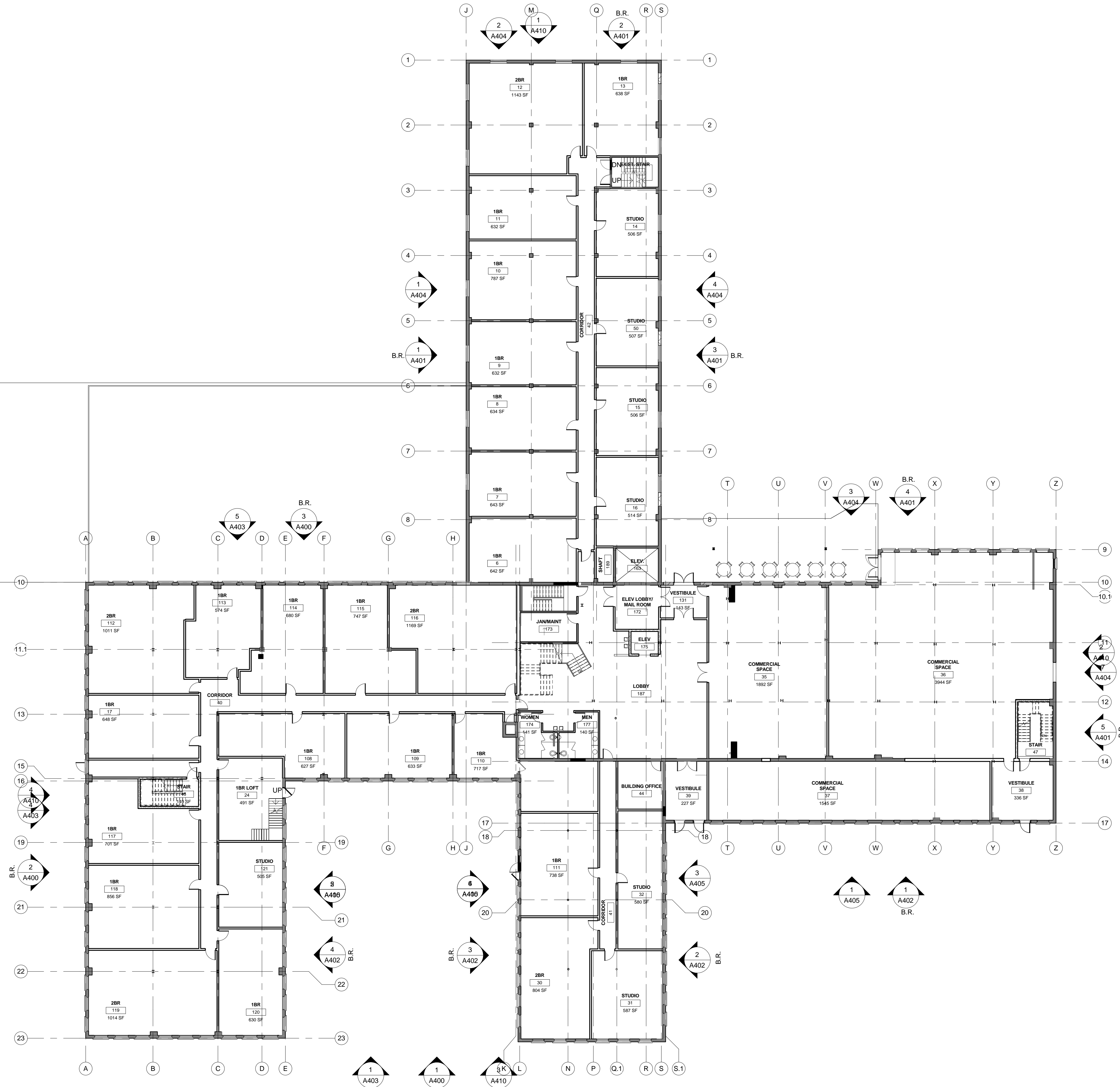
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CITY PROPERTIES GROUP
GREAT RIVER LANDING
BASEMENT FLOOR PLAN

Date/ct number XXXXXX.XX
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Drawn by Author
Checked by Checker

A100



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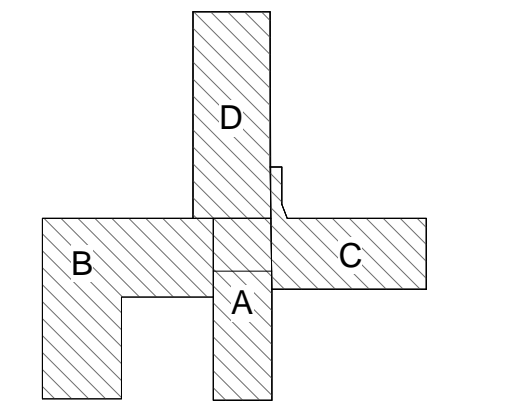
Pamela Bakken Anderson

Date: 05.11.15 Reg. No: 21241

NO.	DESCRIPTION	DATE

Revisions

BUILDING AREA KEY PLAN



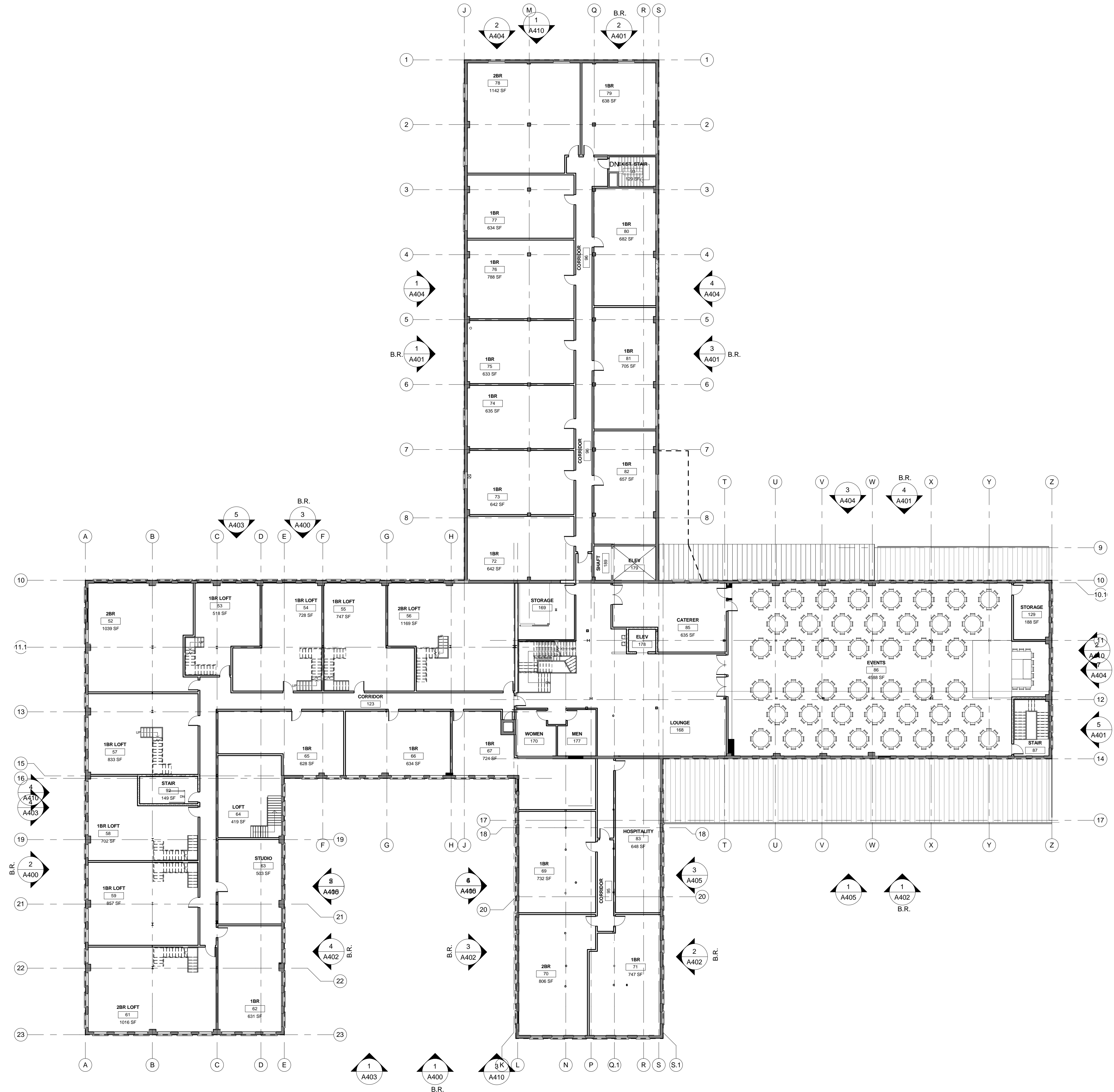
CITY PROPERTIES GROUP

GREAT RIVER LANDING

FIRST FLOOR PLAN

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Drawn by Author
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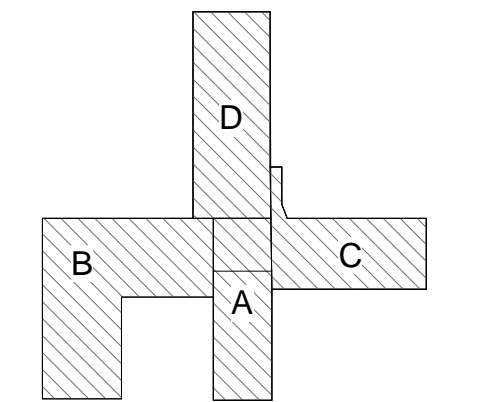
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Revisions

BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP

GREAT RIVER LANDING
SECOND FLOOR PLAN

Date/sect number	XXXXXX.XX
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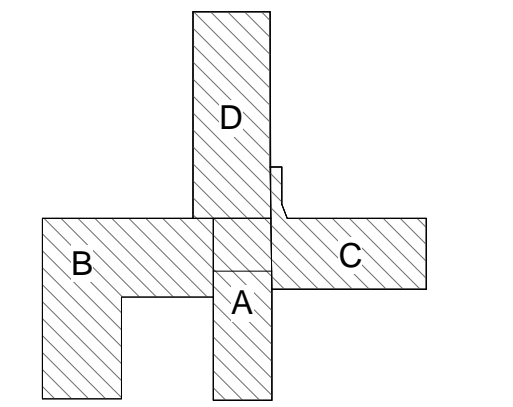
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Revisions

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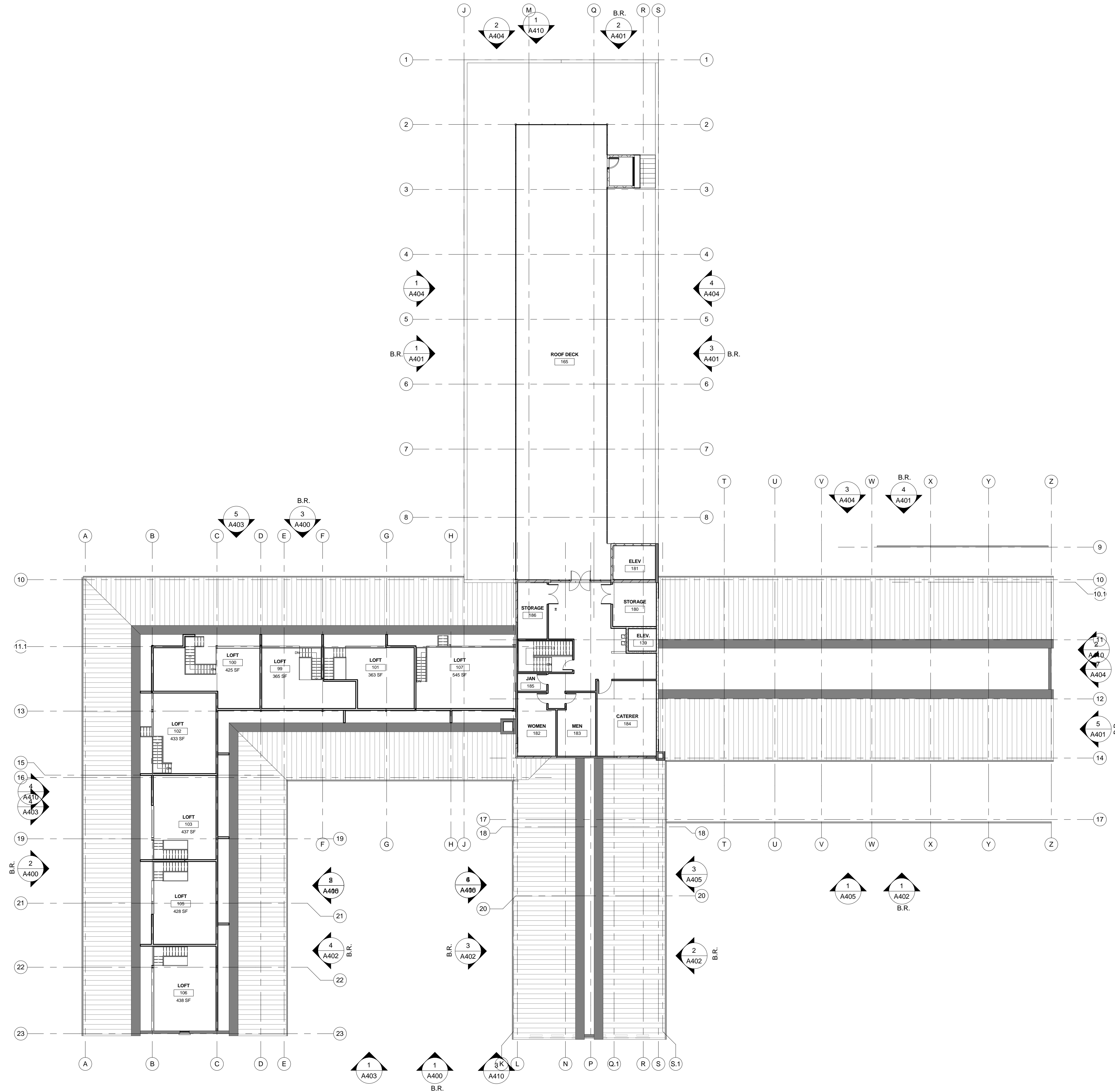
CITY PROPERTIES GROUP

GREAT RIVER LANDING

LOFT FLOOR PLAN

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Drawn by Author
Checked by Checker

A103



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Date: 05.11.15 Reg. No: 21241

NO.	DESCRIPTION	DATE

Revisions

BUILDING AREA KEY PLAN



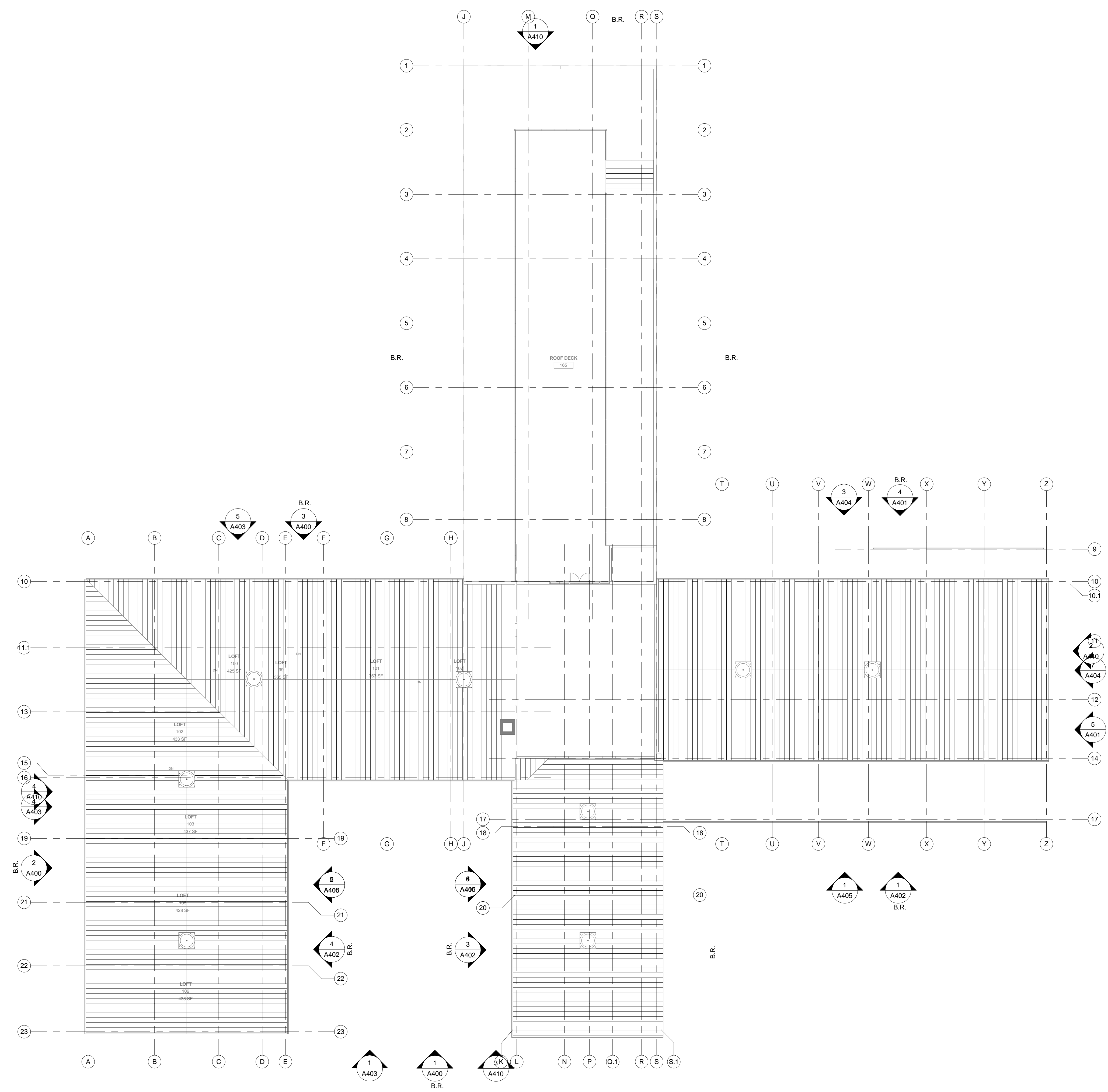
CITY PROPERTIES GROUP

GREAT RIVER LANDING

OVERALL PLAN - ROOF

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Drawn by Author
Checked by Checker

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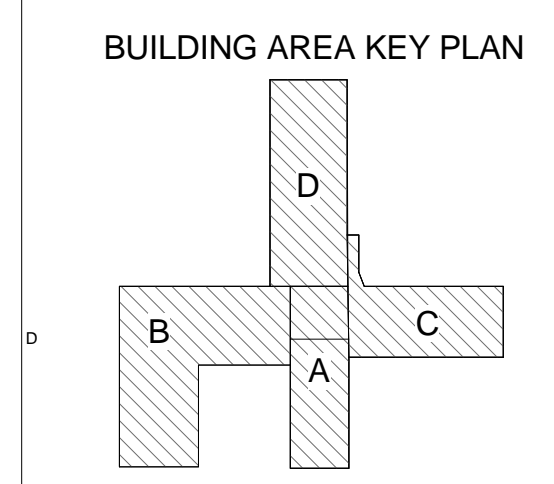


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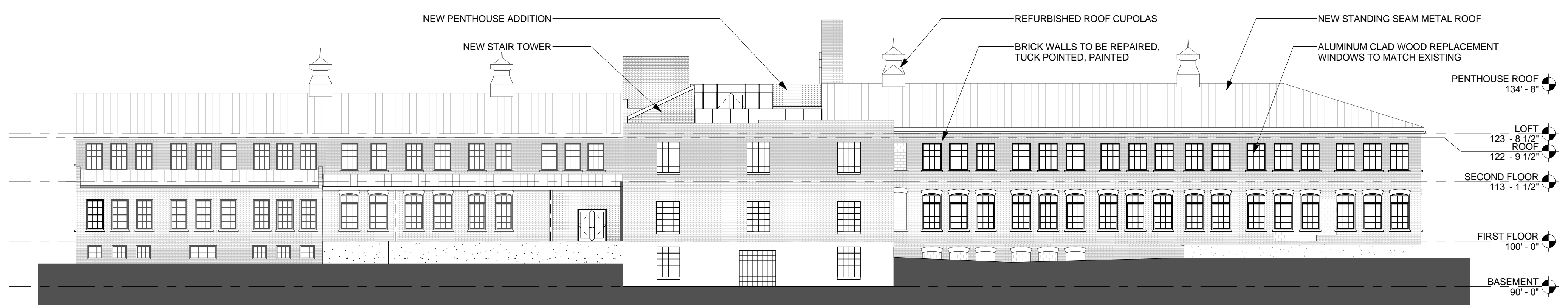
CITY PROPERTIES GROUP

GREAT RIVER LANDING

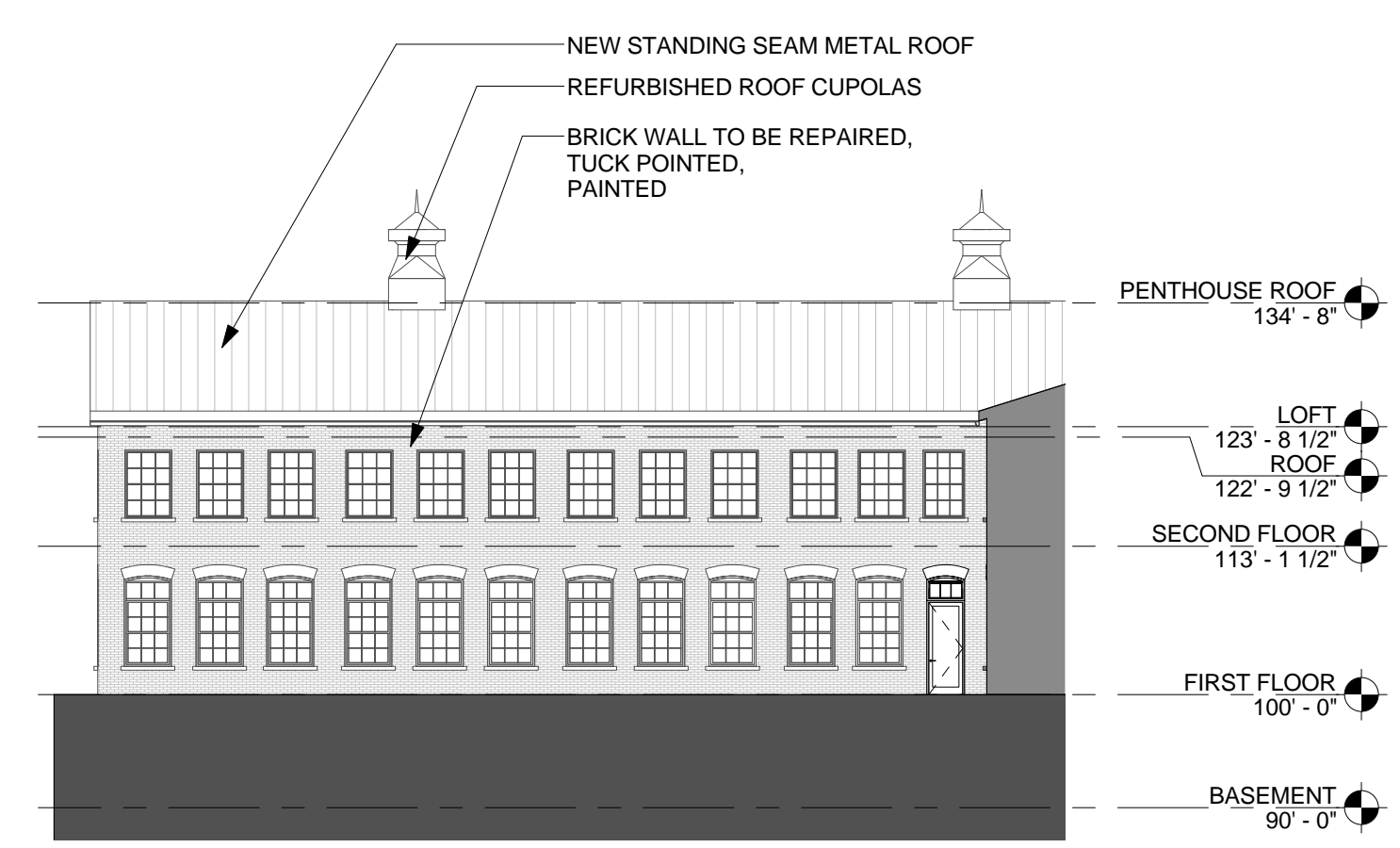
EXTERIOR ELEVATIONS

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Checked by	Checker

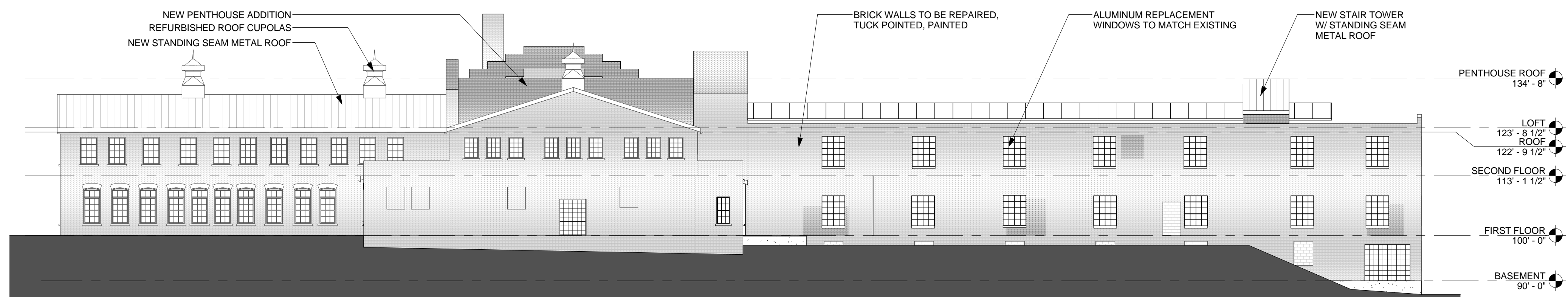
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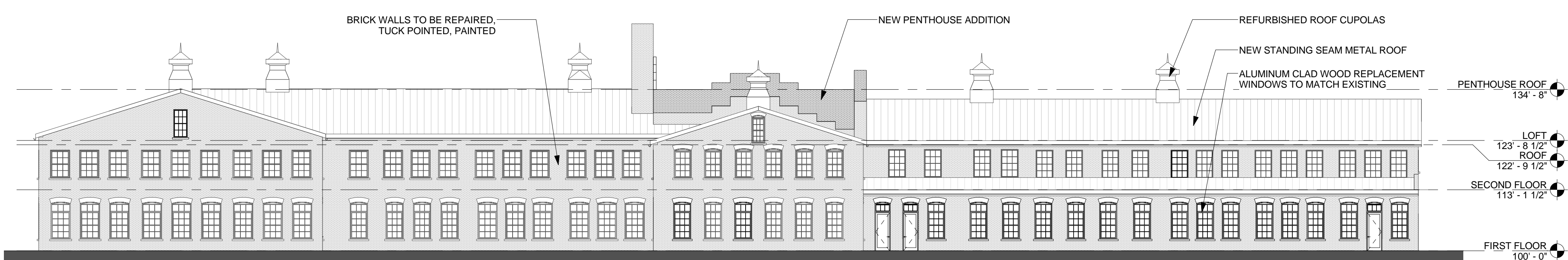
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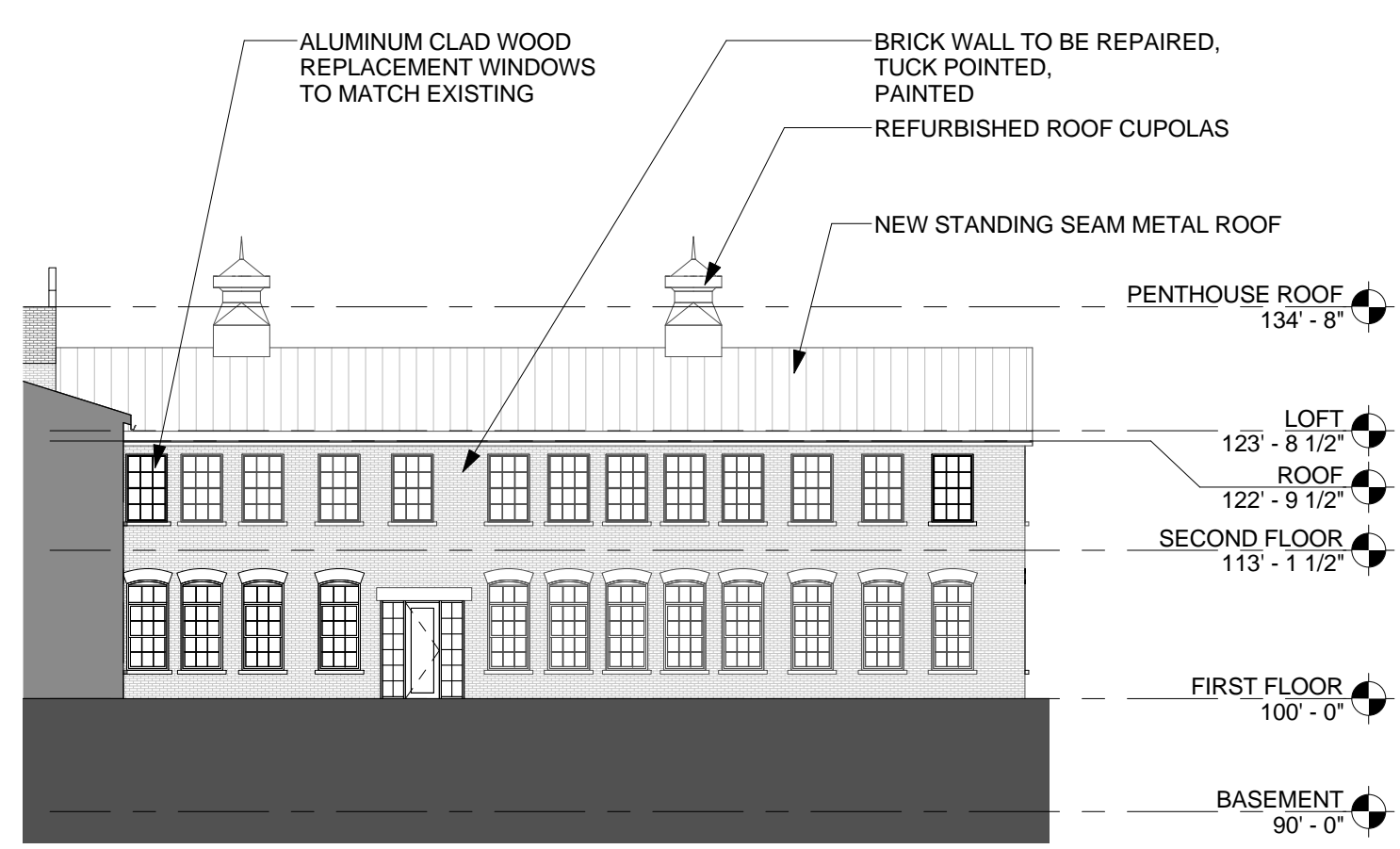
⑤ BLDG B - EAST ELEVATION
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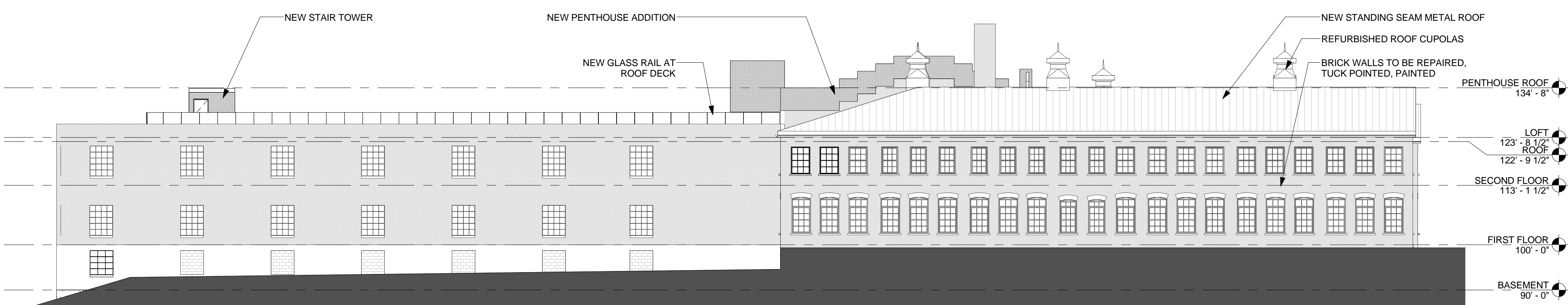
② OVERALL - EAST ELEVATION
1/16" = 1'-0"



③ OVERALL - SOUTH ELEVATION
1/16" = 1'-0"



⑥ BLDG A - WEST ELEVATION
1/16" = 1'-0"



④ OVERALL - WEST ELEVATION
1/16" = 1'-0"



① OVERALL - NORTH ELEVATION
1/16" = 1'-0"



⑤ BLDG B - EAST ELEVATION
1/16" = 1'-0"



② OVERALL - EAST ELEVATION
1/16" = 1'-0"



③ OVERALL - SOUTH ELEVATION
1/16" = 1'-0"



⑥ BLDG A - WEST ELEVATION
1/16" = 1'-0"



④ OVERALL - WEST ELEVATION
1/16" = 1'-0"

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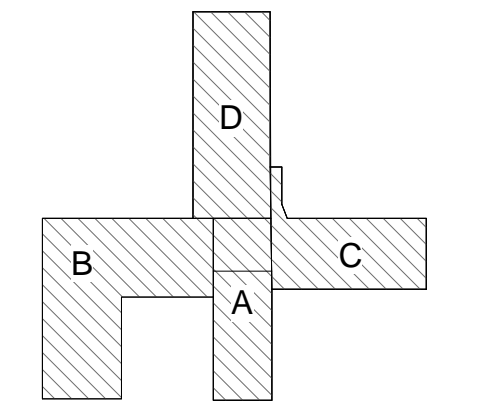
Pamela Bakken Anderson

Date: 05.11.15 Reg. No: 21241

NO.	DESCRIPTION	DATE

Revisions

BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP

GREAT RIVERS LANDING

EXTERIOR ELEVATIONS - COLORED

Date/ct number XXXXXX.XX
XXXX/XXXX
Drawn by Author
Checked by Checker

A411

GREAT RIVERS LANDING

**ERICKSON
CIVIL**

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com



GRAPHIC SCALE

LEGEND

- DENOTES SET 1/8 INCH BY 16 INCH IRON PIPE MONUMENT MARKED WITH A PLASTIC CAP INSCRIBED "JOHNSON LS 10938", UNLESS SHOWN OTHERWISE
- DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED

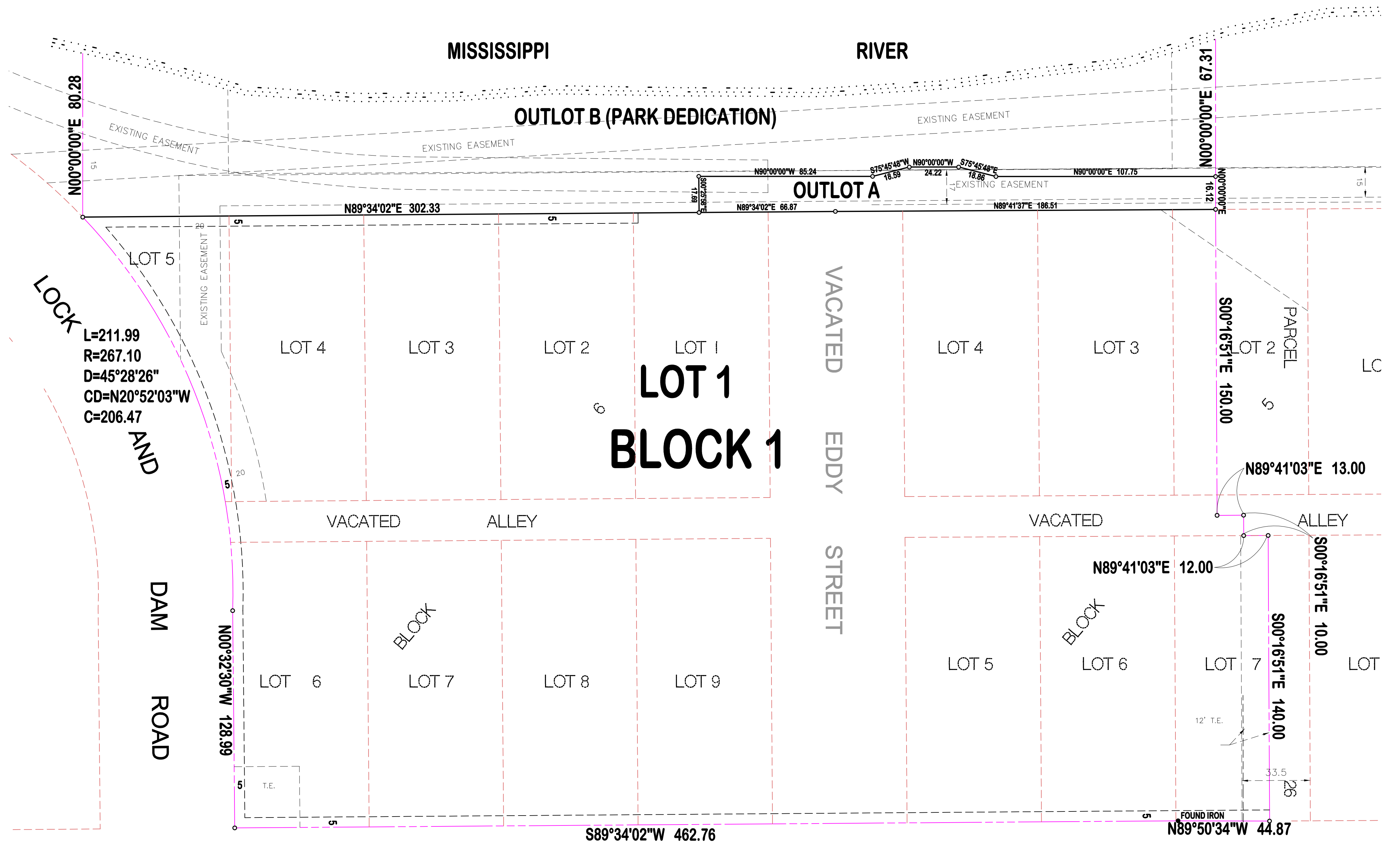
NOTES

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON DAKOTA COUNTY COORDINATES.

LEGAL DESCRIPTION:

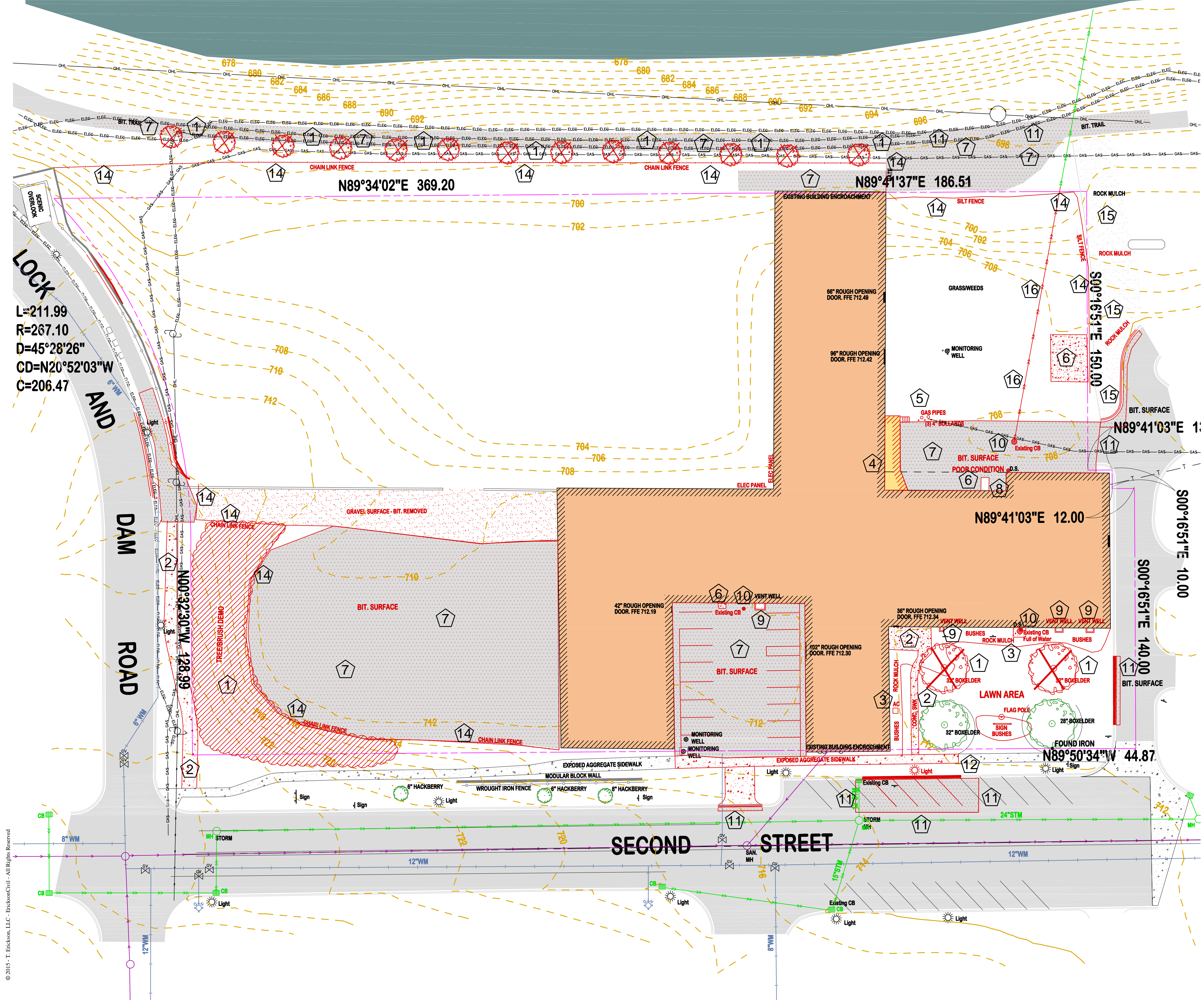
Lots 1, 2, 3, 4, 5, 6, 7 and the South ninety-eight and five sixths feet of Lot 8, in Block 5; and Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9, in Block 6 all in the Town now City of Hastings, Dakota County, Minnesota, together with the vacated alley lying in said Block 5 and 6 together with that part of vacated Eddy Street lying between the extensions of the North and South lines of said Block 5 and 6.

Except that part of Lots 1, 2, 3, 4, 7, 8 and the vacated alley, Block 5, and Lots 1, 2, 3, 4 and 5, Block 6, Town of Hastings, shown as Parcel 26 on Minnesota Department of Transportation Right of Way Numbered 19-145 recorded as Document No. 2684370.



SECOND COUNTY RIGHT OF WAY PLAT NUMBER 184) STREET

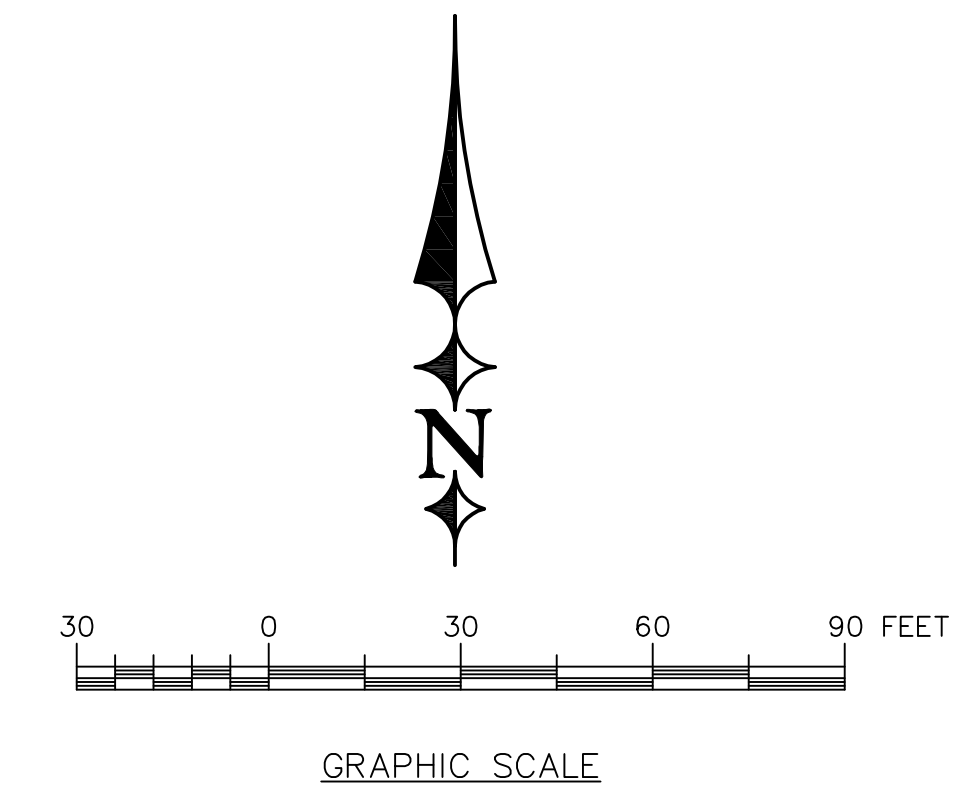
MISSISSIPPI RIVER



LOCK
 L=211.99
 R=267.10
 D=45°28'26"
 CD=N20°52'03"W
 C=206.47

AND
 DAM
 ROAD

SECOND STREET



LEGEND:

	EXISTING BOUNDARY
	EXISTING CONTOURS (2 FOOT CONTOUR INTERVAL)
	OVER HEAD ELECTRIC LINE
	UG GAS LINE
	UG ELECTRIC LINE
	WATER LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	STORM MANHOLE, CATCH BASIN
	SANITARY MANHOLE
	POWER POLE

- KEYED NOTES:**
- 1 REMOVE EXISTING TREE(S) AND STUMP(S).
 - 2 REMOVE EXISTING CONCRETE SIDEWALK.
 - 3 REMOVE EXISTING LANDSCAPE MATERIALS, SHRUBS AND CONCRETE WELLS, CATCH BASIN AND AC UNIT.
 - 4 REMOVE EXISTING DOCK ADDITION.
 - 5 COORDINATE WITH GAS COMPANY TO RELOCATE EXISTING GAS METERS TO BUILDING FACE.
 - 6 REMOVE EXISTING CONCRETE PAD.
 - 7 REMOVE EXISTING BIT. SURFACE.
 - 8 REMOVE EXISTING CONCRETE WALL(S).
 - 9 REMOVE EXISTING CONCRETE VENT
 - 10 REMOVE EXISTING CATCH BASIN
 - 11 SAW CUT BIT. FULL DEPTH PRIOR TO REMOVAL
 - 12 SAW CUT CONCRETE SIDEWALK PRIOR TO REMOVAL
 - 13 PROTECT EXISTING TREES
 - 14 REMOVE EXISTING FENCE
 - 15 REMOVE ROCK MULCH AS REQUIRED FOR NEW PARKING AREA
 - 16 REMOVE EXISTING STORM PIPE TO NEW MANHOLE

LEGAL DESCRIPTION:

Lots 1, 2, 3, 4, 5, 6, 7 and the South ninety-eight and five sixths feet of Lot 8, in Block 5; and Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9, in Block 6 all in the Town now City of Hastings, Dakota County, Minnesota, together with the vacated alley lying in said Block 5 and 6 together with that part of vacated Eddy Street lying between the extensions of the North and South lines of said Block 5 and 6.

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ERICKSON CIVIL
 333 North Main Street, Suite 201
 Hastings, MN 55033
 Phone (612) 309-3804
 www.ericksoncivilsite.com

DRAWING PHASE:

OWNER REVIEW
AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 09/03/2015
 DATE:

OWNER/DEVELOPER

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

PROJECT TITLE

GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

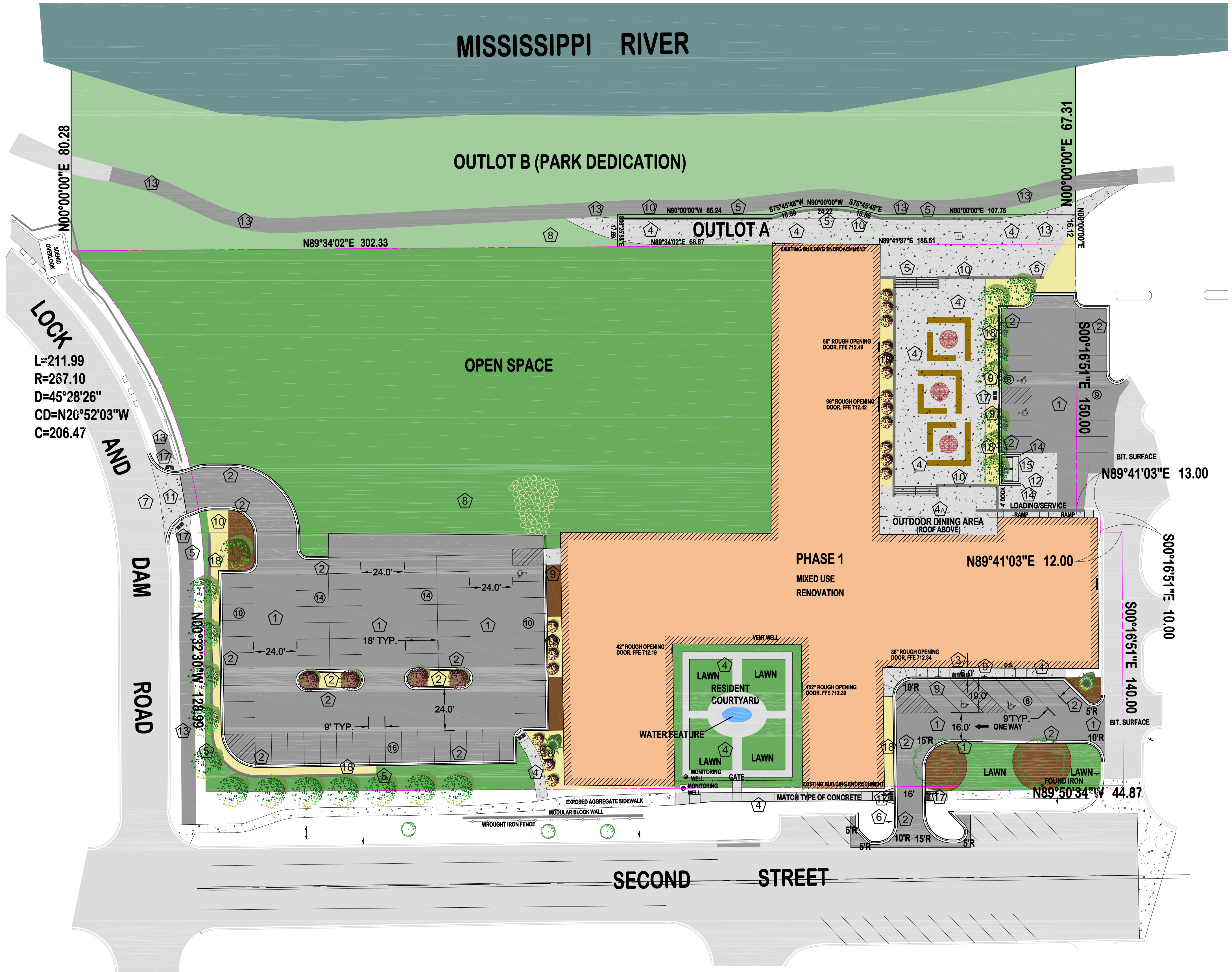
NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-143

SHEET TITLE
 EXISTING CONDITIONS & DEMO PLAN

SHEET NO.
C1
 SHEET 1 OF 6

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LOCK AND DAM ROAD
 L=211.99
 R=267.10
 D=45°28'26"
 CD=N20°52'03"W
 C=206.47

MISSISSIPPI RIVER

OUTLOT B (PARK DEDICATION)

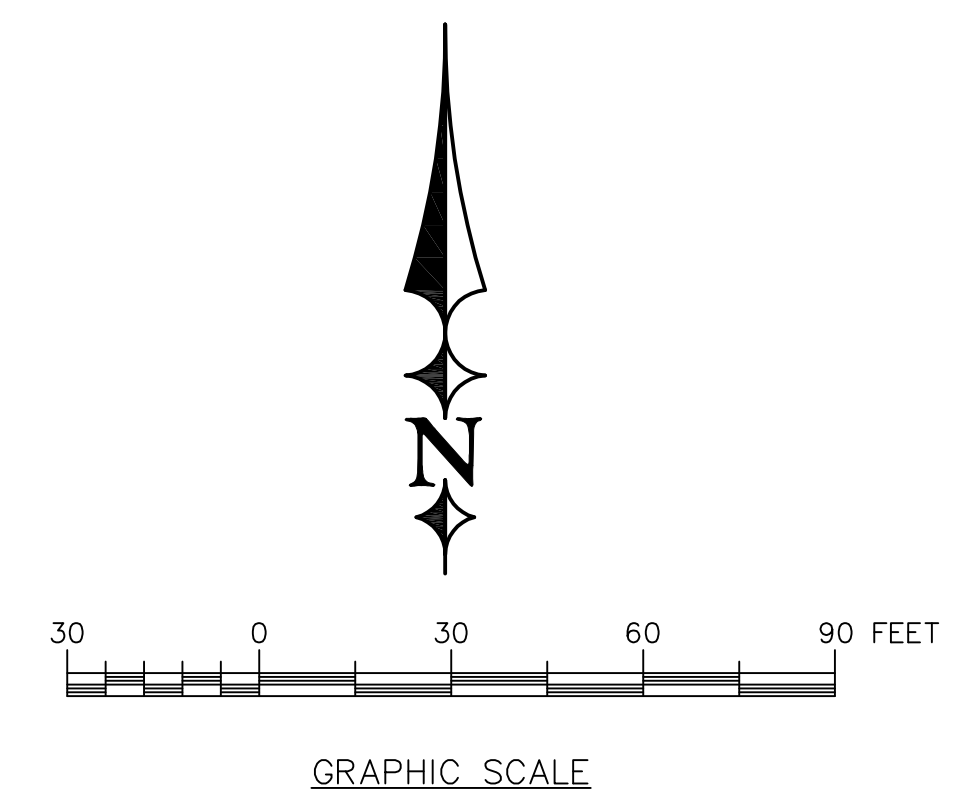
OUTLOT A

OPEN SPACE

PHASE 1
 MIXED USE
 RENOVATION

RESIDENT
 COURTYARD

SECOND STREET



LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- PARKING STALL COUNT (TOTAL PROPOSED = 87)

KEYED NOTES:

- 1) INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C5.
- 2) INSTALL B612 CONCRETE CURB. REFER TO DETAIL 2/C5.
- 3) CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5.
- 4) INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4/C5. 6" CONCRETE PAVEMENT FOR 4A.
- 5) MODULAR BLOCK WALL WITH RAILING (VERSA LOK BRONCO). ANY WALL OVER 4-FT IN HEIGHT SHALL BE DESIGNED BY AN ENGINEER AND A SIGNED PLAN SET OF DRAWINGS SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
- 6) INSTALL "STOP" TRAFFIC CONTROL SIGN.
- 7) CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5.
- 8) 6" MIN. TOPSOIL AND HYDRO SEEDED WITH LOW GROW FESCUE @ 220 LBS. PER ACRE, W/20 LBS. PER ACRE ANNUAL RYE.
- 9) INSTALL HANDICAP SIGNAGE. SEE DETAIL 1/C2.
- 10) INSTALL FENCING AT RETAINING WALL PER ARCHITECT DETAIL
- 11) INSTALL CONCRETE APRON SECTION, SEE DETAIL 10/C5
- 12) INSTALL CONCRETE TRUCK DOCK APRON USE SECTION FOUND IN DETAIL 10/C5
- 13) INSTALL BIT. TRAIL SECTION SEE DETAIL 11/C5
- 14) INSTALL CONCRETE FILLED 6" STEEL BOLLARD (4-FT BELOW GRADE AND 3.5-FT ABOVE GRADE) CAP WITH STANDARD YELLOW COVER FROM IDEAL SHIELD.
- 15) INSTALL TRASH ENCLOSURE W/GATE AND CONCRETE PAD PER DETAIL 10/C5.
- 16) RIP RAP STORM WATER DISSIPATER
- 17) CONSTRUCT ACCESSIBLE RAMP LANDING, 2% MAX SLOPE EITHER DIRECTION, W/ (2) NEENAH UNPAINTED TRUNCATED DOME PLATES
- 18) 2"-4" LIMESTONE ROCK MULCH OVER GEOTEXTILE FABRIC TYPE IV, NON WOVEN.

LAYOUT NOTES:

- 1) ALL RADII TO FACE OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- 3) PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.

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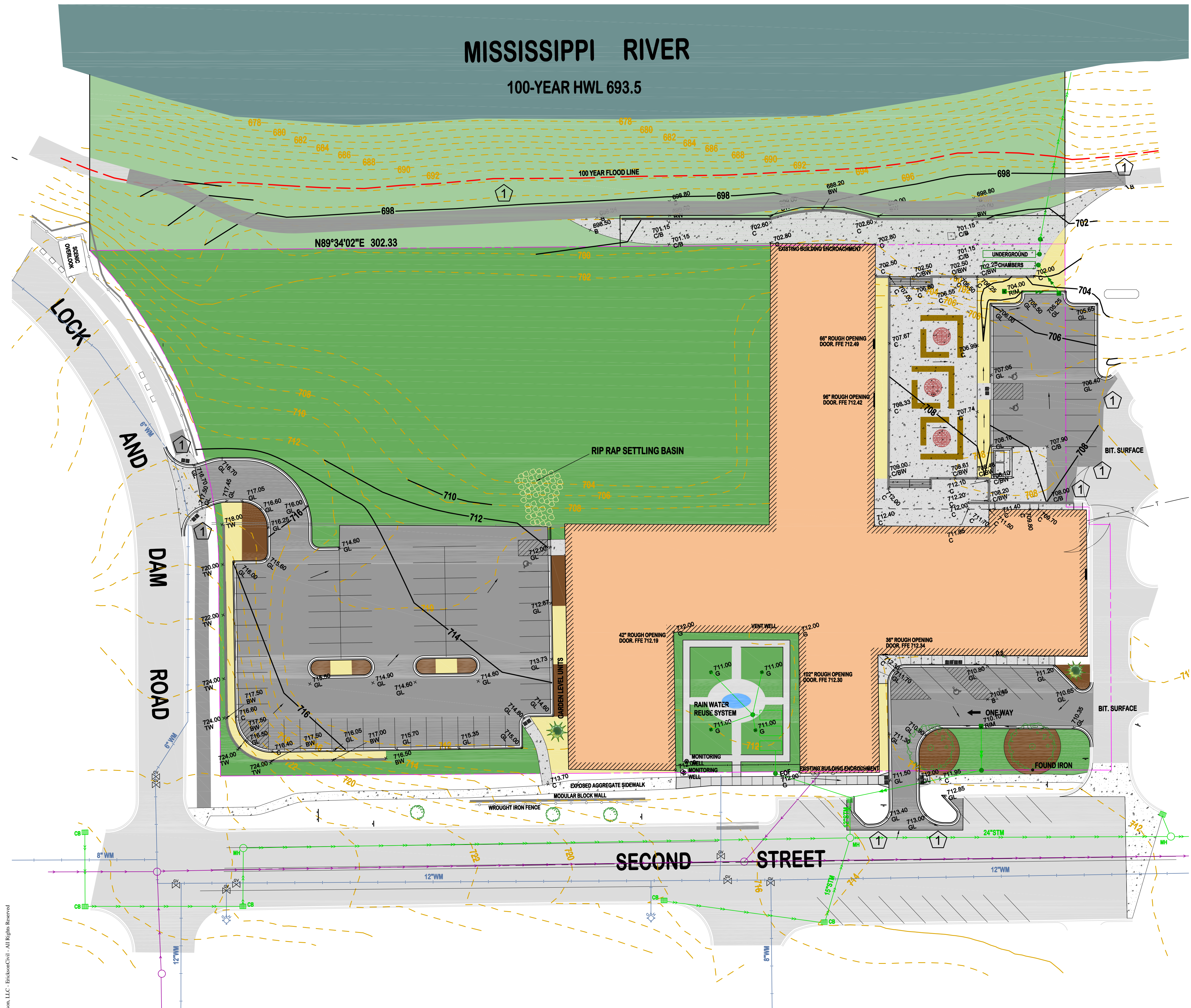
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 09/03/2015
 DATE:

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CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

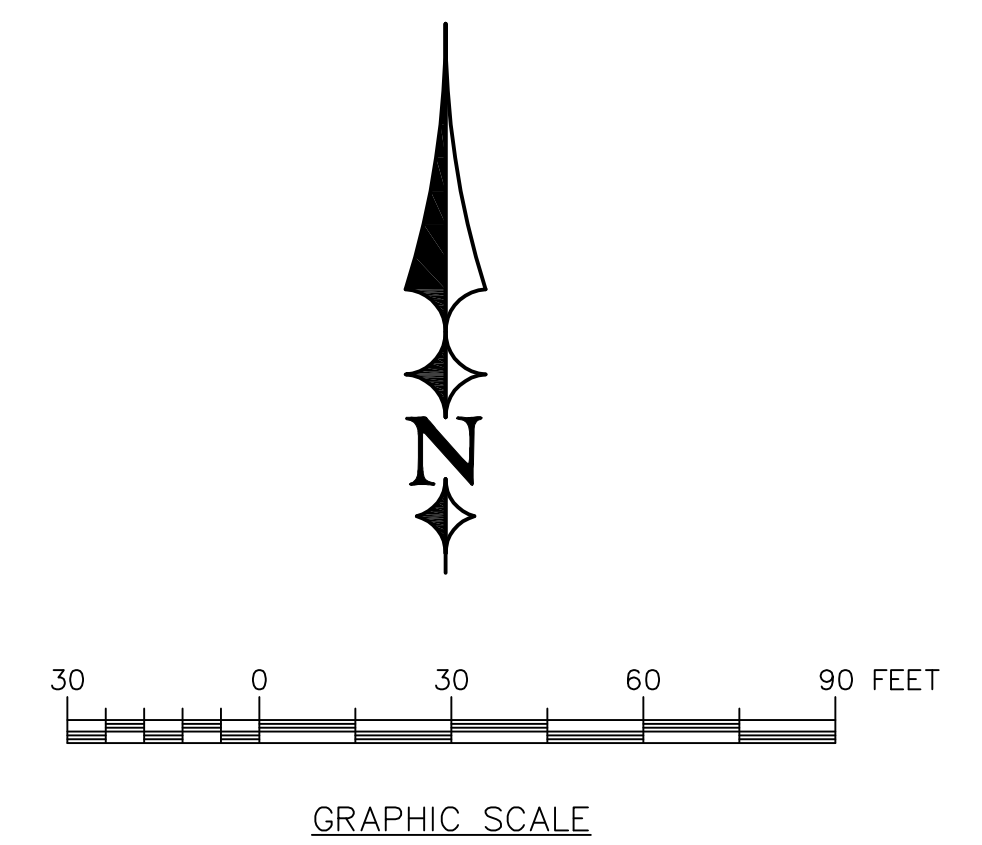
PROJECT TITLE
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 15-143
 SHEET TITLE
LAYOUT PLAN
 SHEET NO.
C2
 SHEET 2 OF 6



MISSISSIPPI RIVER
100-YEAR HWL 693.5



LEGEND:

- EXISTING PROPERTY BOUNDARY
- 710 EXISTING 1-FT CONTOUR
- 710 PROPOSED 1-FT CONTOUR
- PROPOSED SPOT ELEVATION
- GL = PROPOSED GROUND SURFACE
- GL = GUTTER LINE
- C = CONCRETE SURFACE
- B = BITUMINOUS SURFACE
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- * REPRESENTS EXISTING GRADE.

KEYED NOTES:

- 1 MATCH EXISTING BITUMINOUS PAVEMENT ELEVATIONS.

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PROJECT TITLE
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HASTINGS, MINNESOTA

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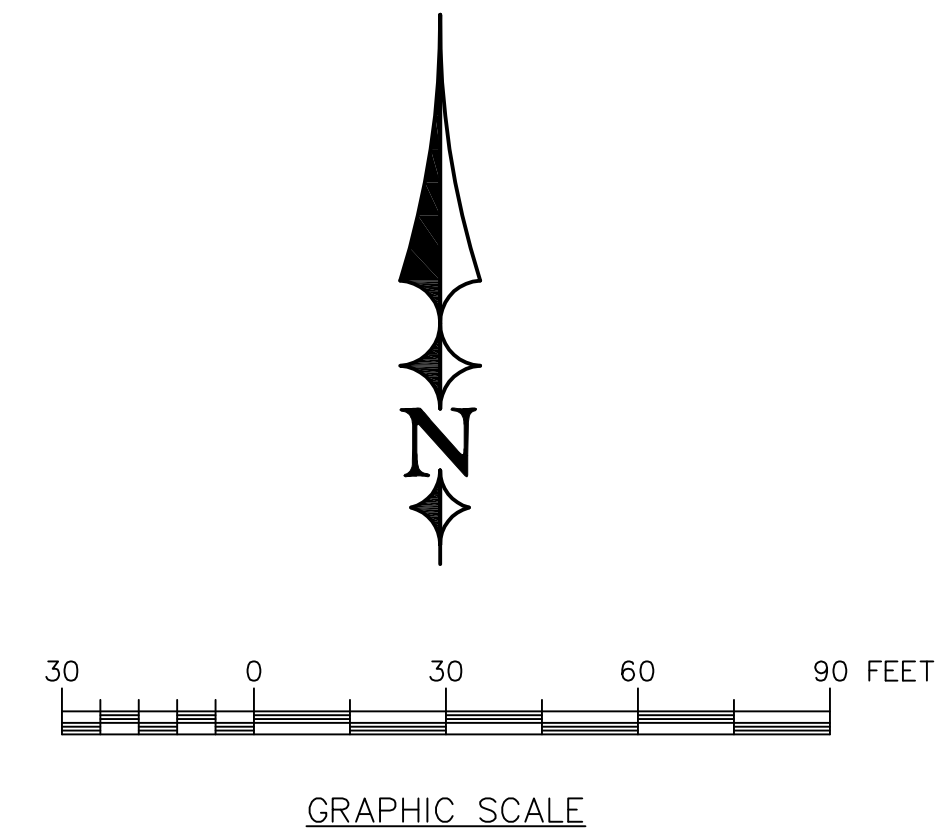
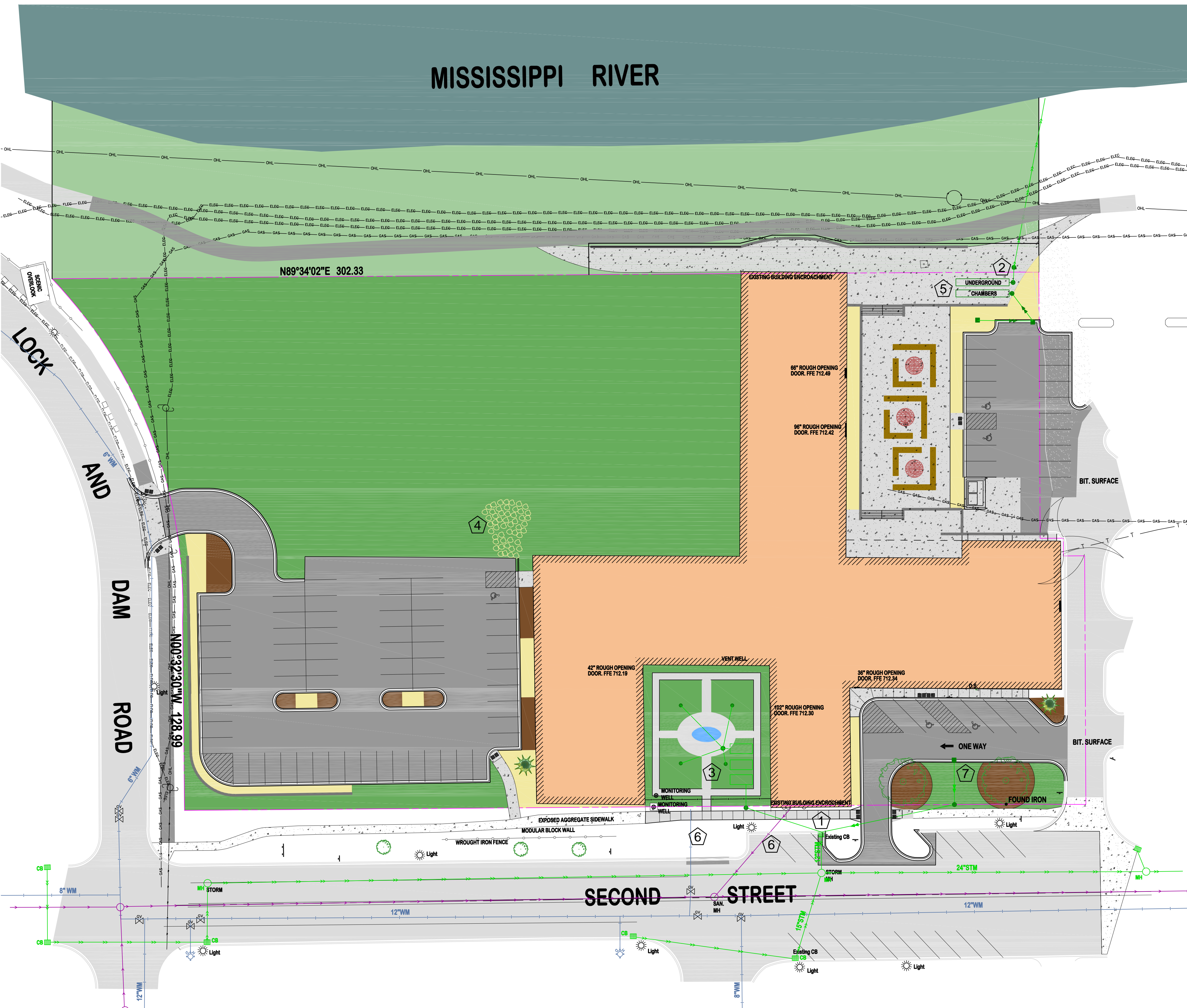
PROJECT TITLE
GREAT RIVERS LANDING
HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-143

SHEET TITLE
UTILITY PLAN

SHEET NO.
C4
SHEET 4 OF 6



- LEGEND:**
- PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN

- KEYED NOTES:**
- 1 CONNECT TO EXISTING CATCH BASIN
 - 2 CONSTRUCT MANHOLE STRUCTURE OVER EXISTING STORM LINE. LOCATION SHALL BE VERIFIED.
 - 3 RAIN WATER REUSE TANKS AND WATER FEATURE FOR CIRCULATION OF STORED WATER. TO BE UTILIZED FOR IRRIGATION OF PROPERTY.
 - 4 STORM WATER TO SHEET FLOW OFF OF PARKING AREA TO RIP RAP SWALE AND RIP RAP SETTLING POND.
 - 5 CONSTRUCT STORM WATER UNDERGROUND DETENTION SYSTEM.
 - 6 EXISTING WATER AND SANITARY SEWER TO REMAIN
 - 7 CONSTRUCTION NEW CATCH BASIN AND PIPING SYSTEM FROM LOWPOINT TO EXISTING CATCH BASIN.

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AGENCY REVIEW	✓
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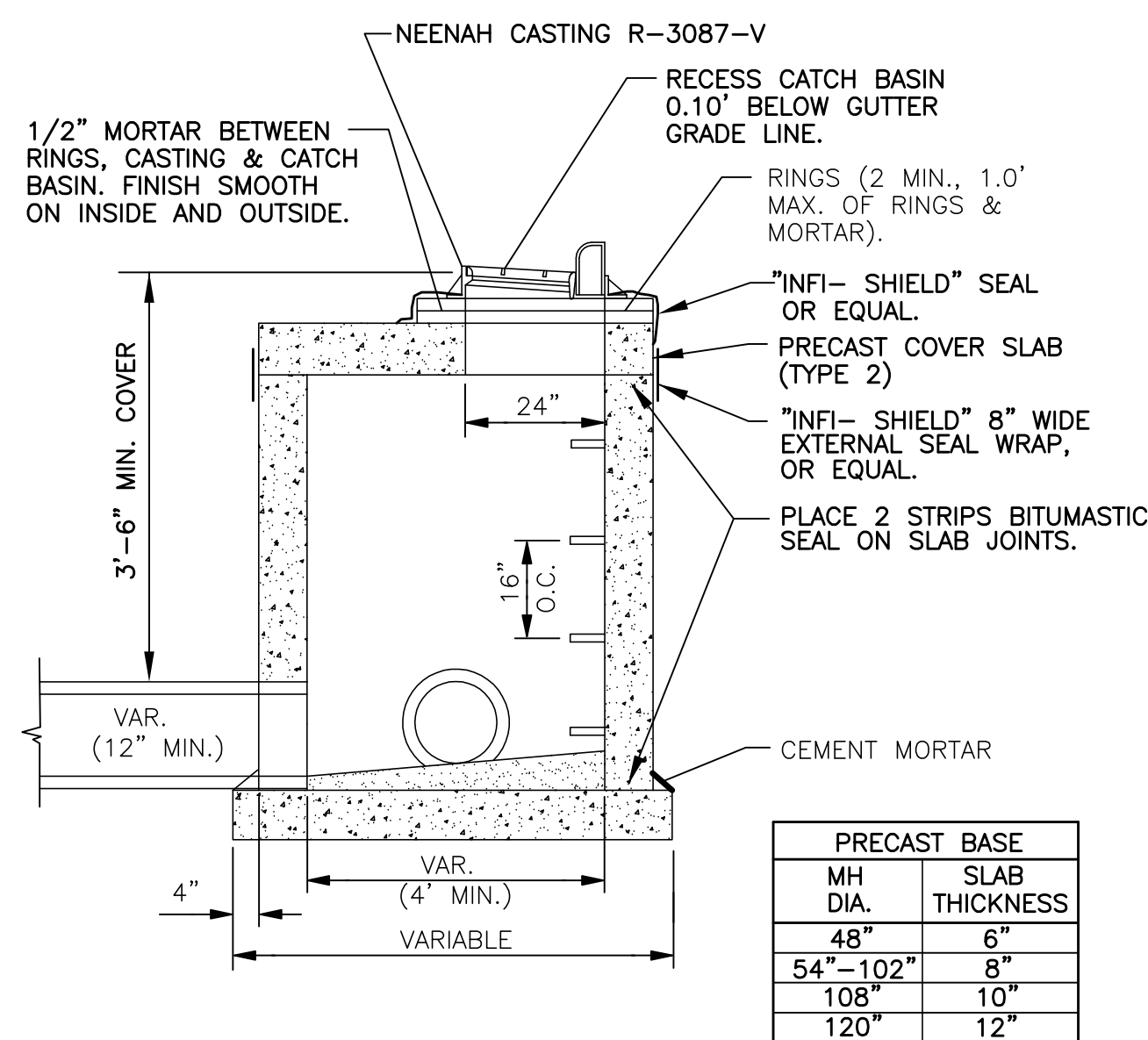
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PROJECT TITLE
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE
1	6" GRAVEL NOT 8" GRAVEL	7/27/15

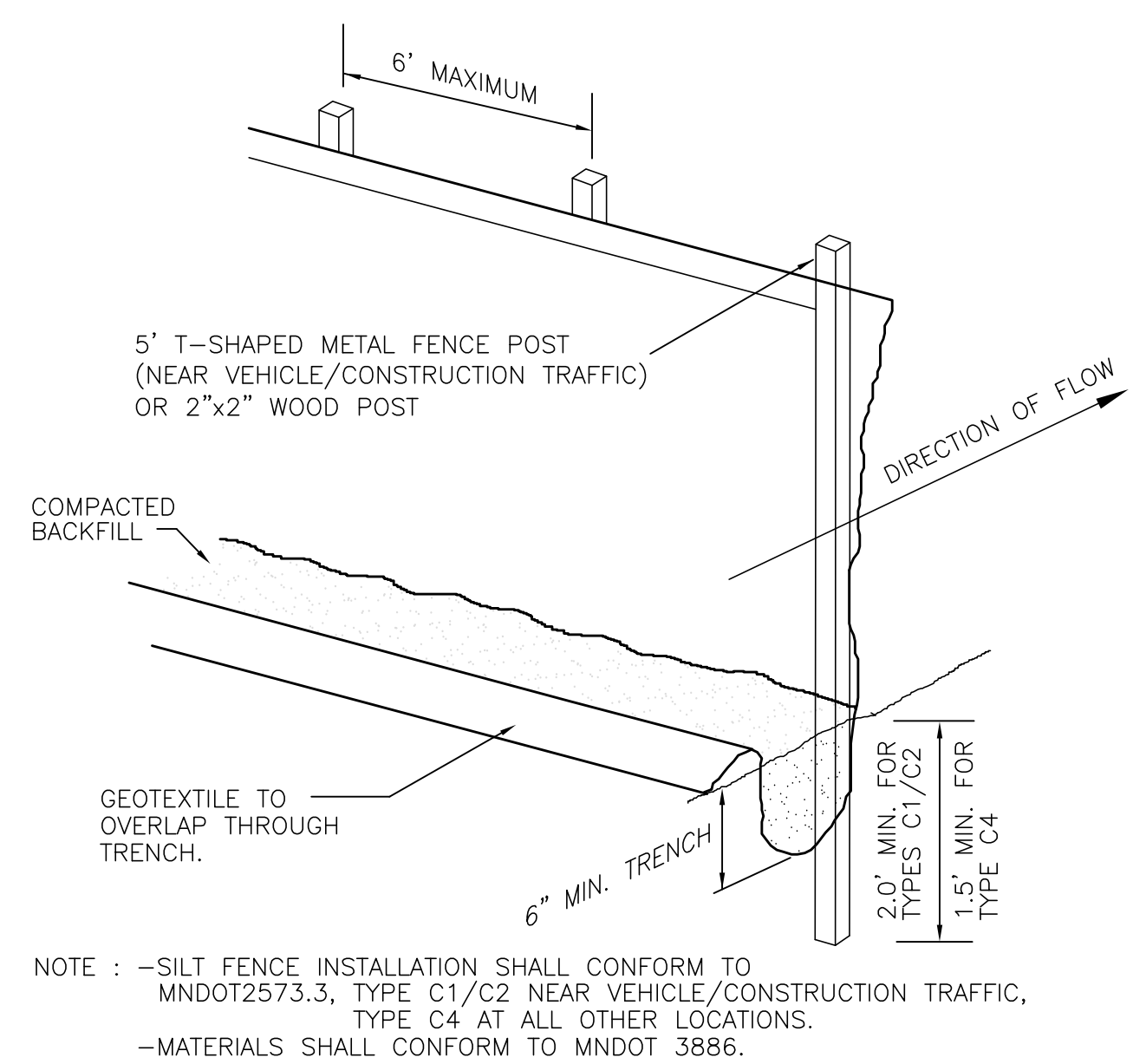
JOB NO. 15-143
 SHEET TITLE
DETAILS

SHEET NO.
C5
 SHEET 5 OF 6



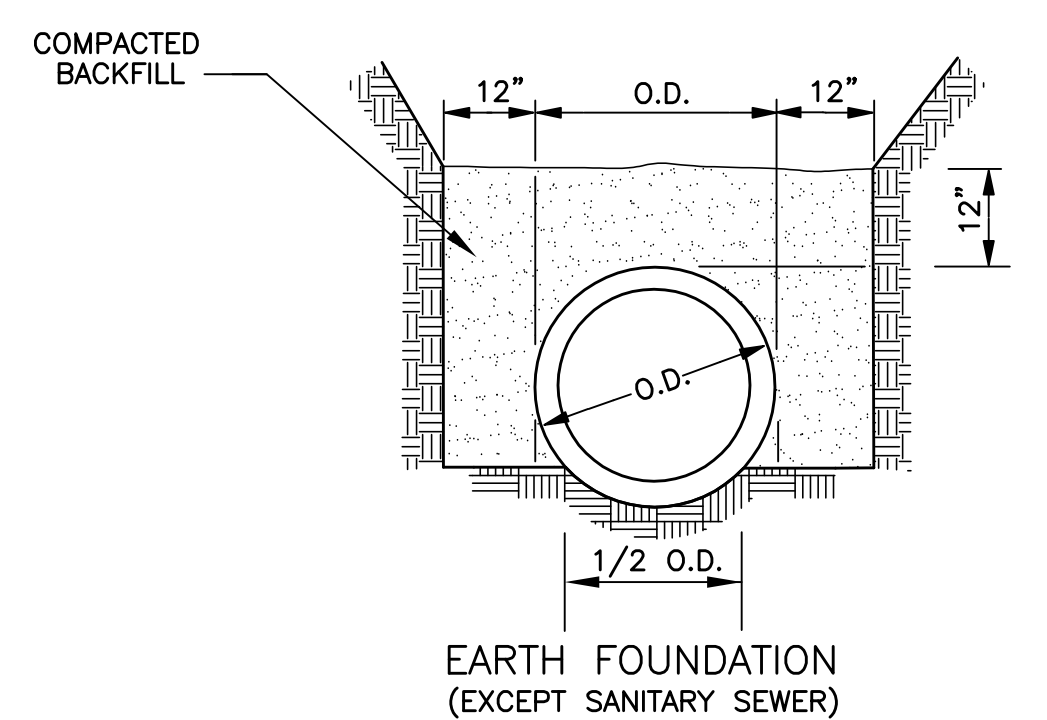
NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY.
 CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, OR 8" CONCRETE MANHOLE BLOCK WITH 1/2" MORTARED EXTERIOR.
 FURNISH PRECAST CONCRETE MANHOLE SECTIONS WITH O-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
 FILL OPENING BETWEEN PIPE AND MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

9 CATCH BASIN/MANHOLE
 C5 NO SCALE

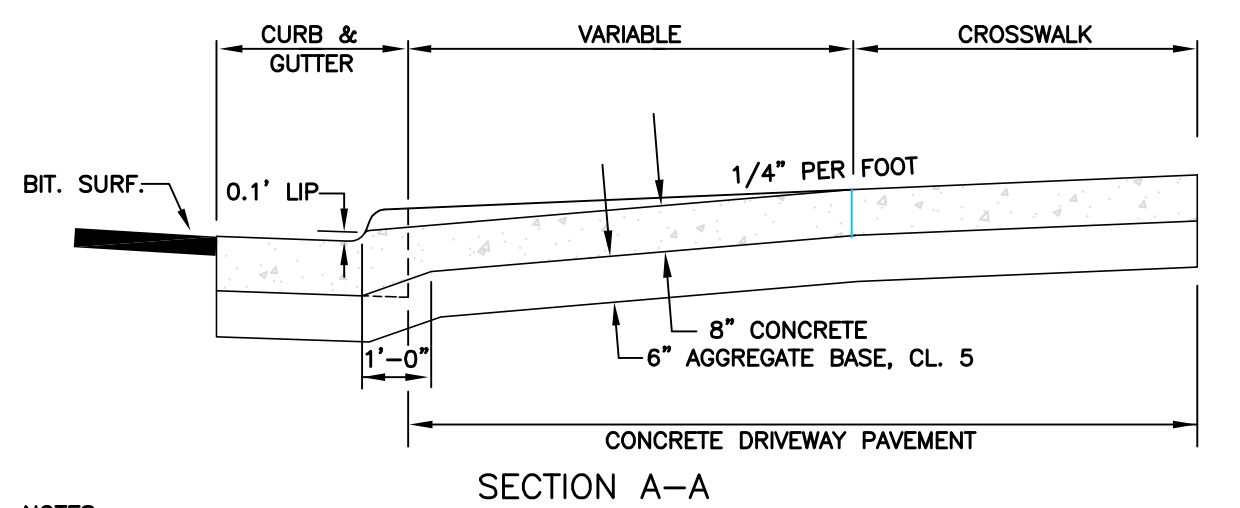
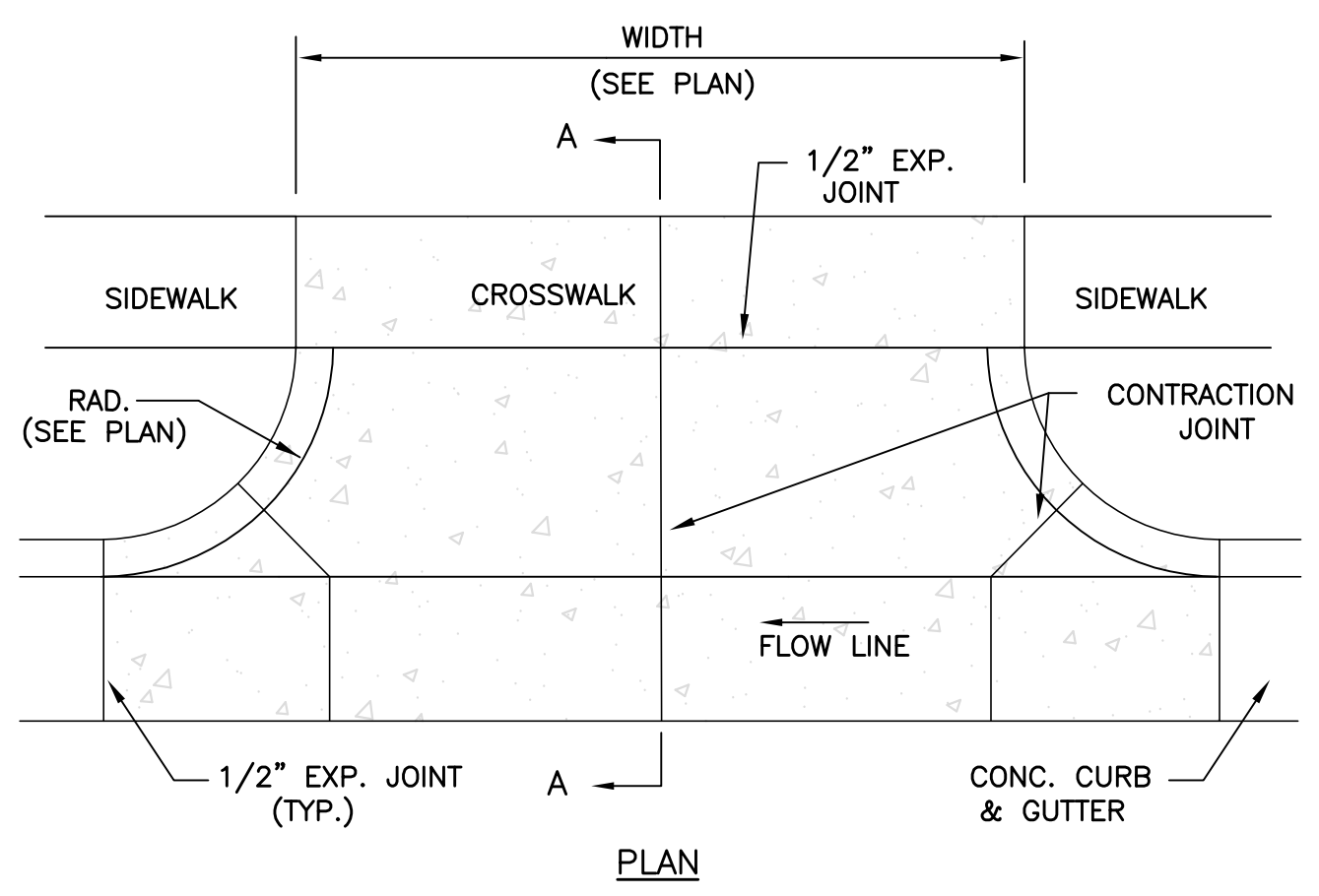


NOTE: -SILT FENCE INSTALLATION SHALL CONFORM TO MNDOT2573.3, TYPE C1/C2 NEAR VEHICLE/CONSTRUCTION TRAFFIC, TYPE C4 AT ALL OTHER LOCATIONS.
 -MATERIALS SHALL CONFORM TO MNDOT 3866.

6 SILTY FENCE
 C5 NO SCALE

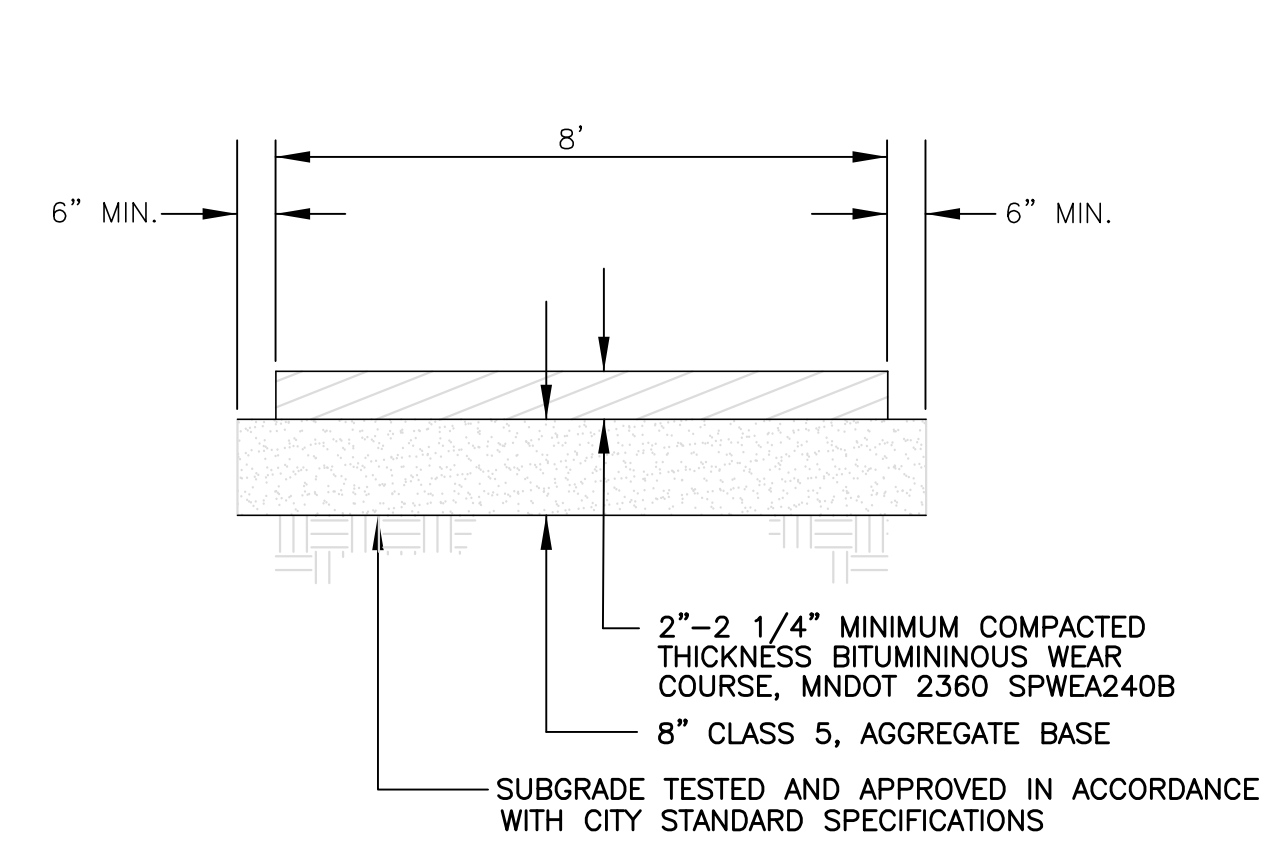


7 PIPE FOUNDATION DETAILS
 C5 NO SCALE



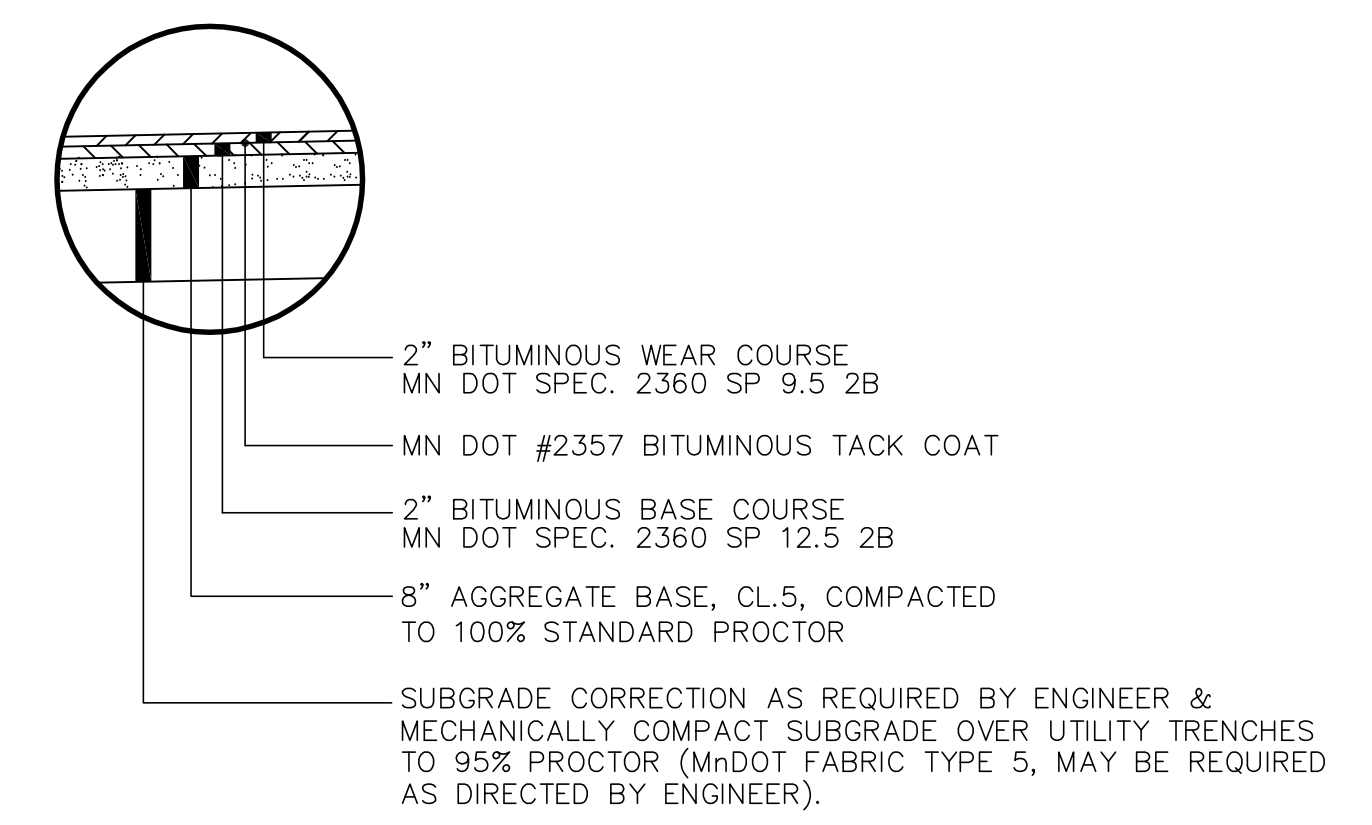
NOTES:
 1. PANEL WIDTH SHALL NOT EXCEED 10' WITHOUT CONTRACTION JOINT.
 2. WHERE SIDEWALK EXISTS OR IS PROPOSED, CROSSWALK SHALL BE SAME THICKNESS AS DRIVEWAY.
 3. CONCRETE SHALL BE 4000 PSI MIN., WITH FIBER MESH

10 CONCRETE DRIVEWAY
 C5 NO SCALE

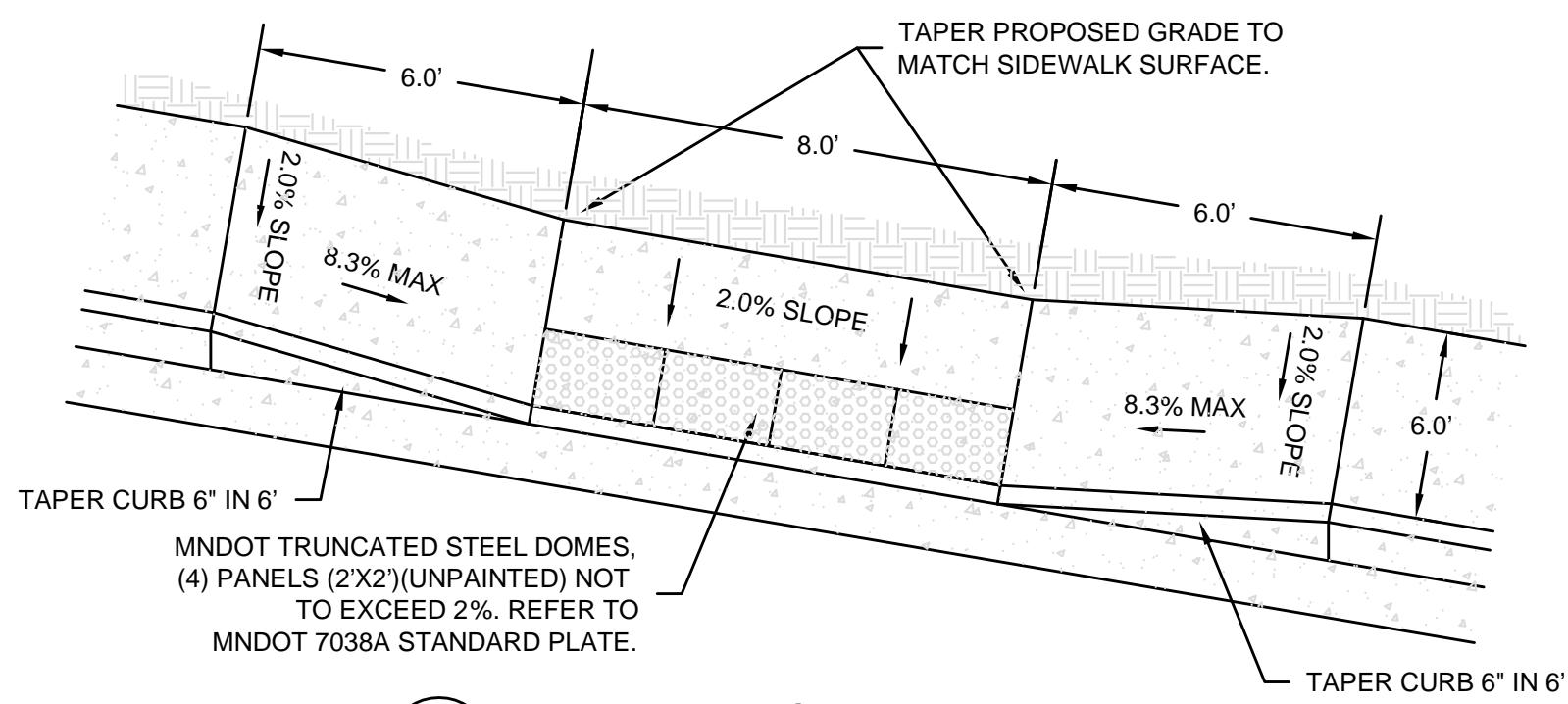


1. PROVIDE 2% CROSS-SLOPE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM TRAIL SURFACE THROUGHOUT LENGTH OF TRAIL.

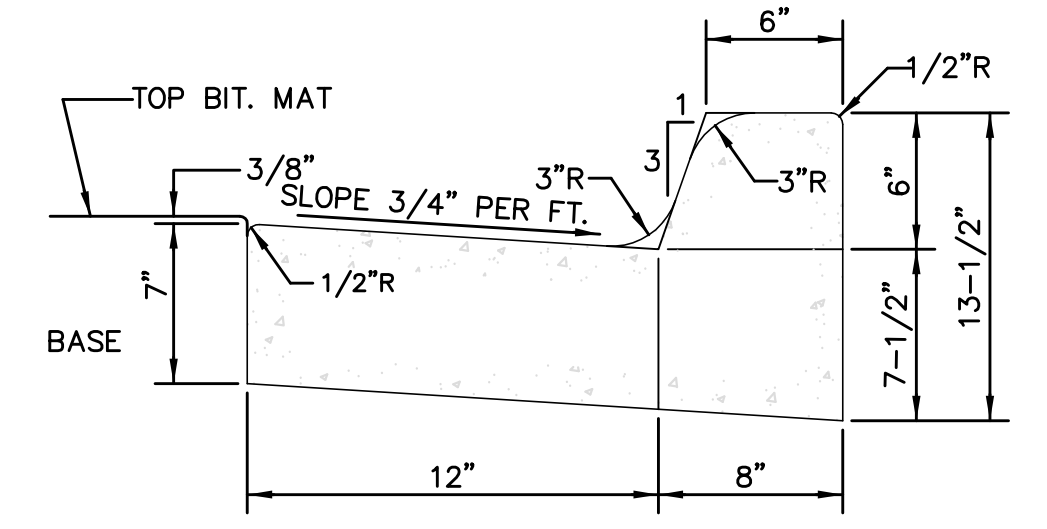
11 BICYCLE-PEDESTRIAN PATH
 C5 NO SCALE



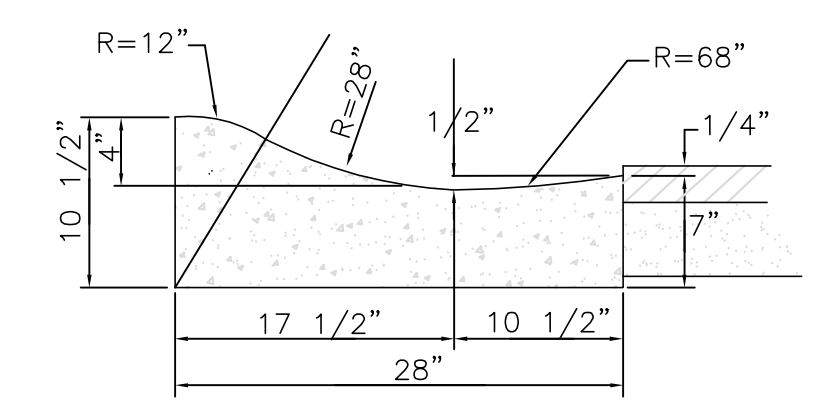
1 BITUMINOUS PAVING SECTION
 C5 NO SCALE



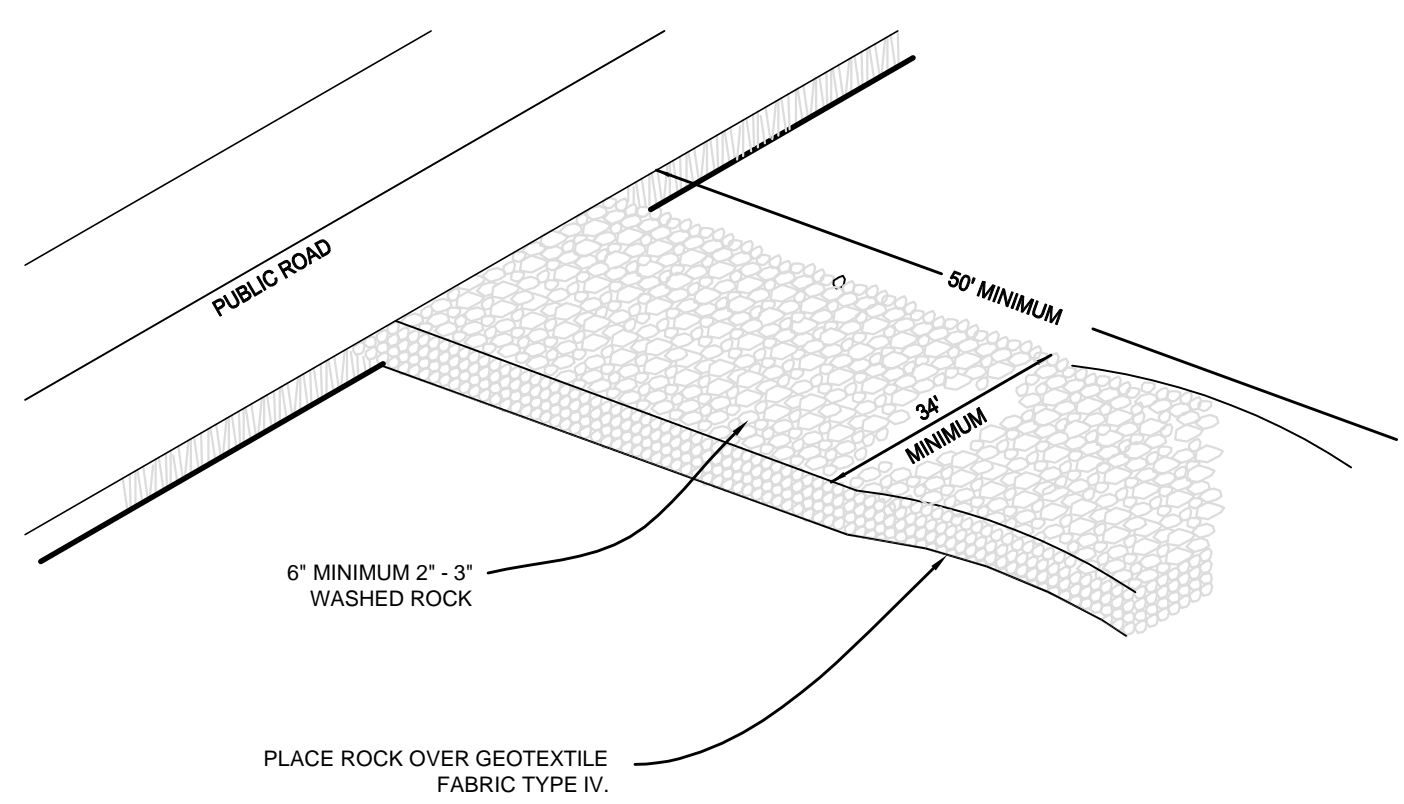
5 PARALLEL CURB RAMP
 C5 NO SCALE



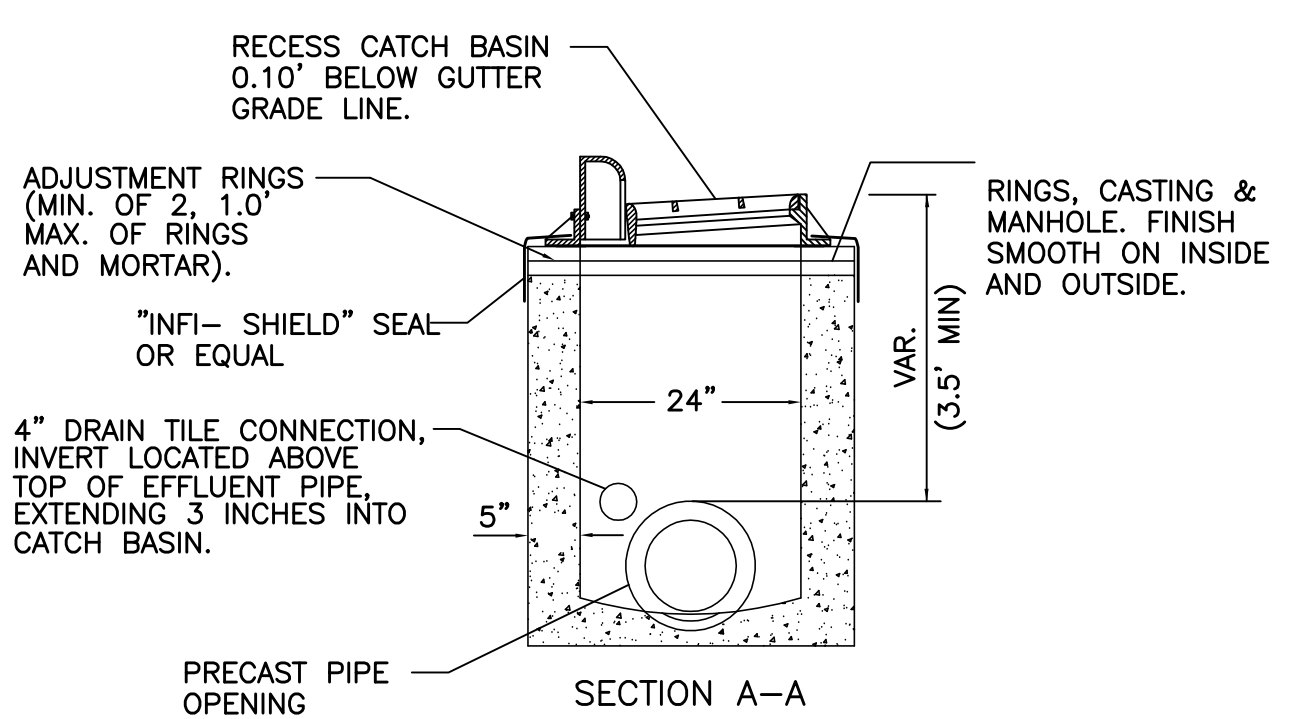
2 B612 CURB & GUTTER
 C5 NO SCALE



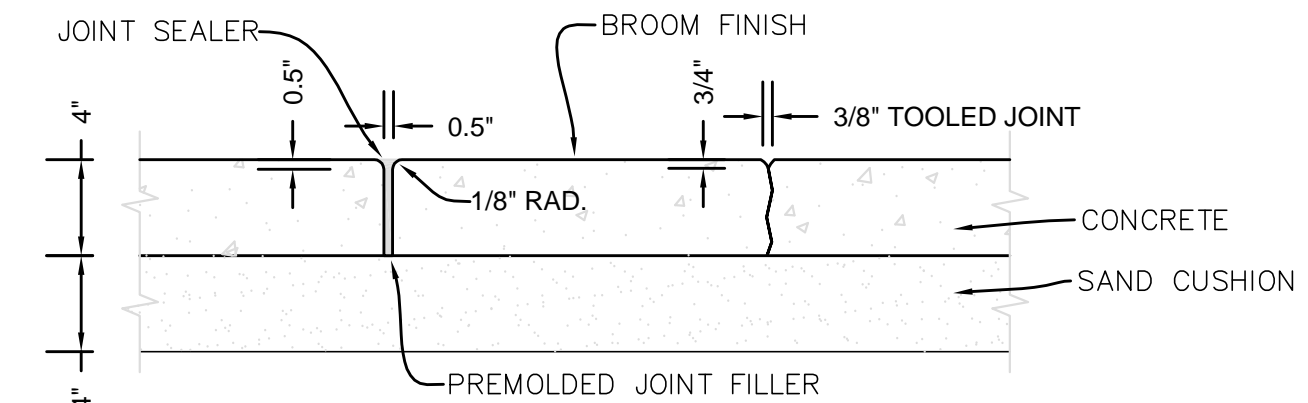
3 SURMOUNTABLE CURB & GUTTER
 C5 NO SCALE



6 ROCK CONSTRUCTION ENTRANCE
 C5 NO SCALE



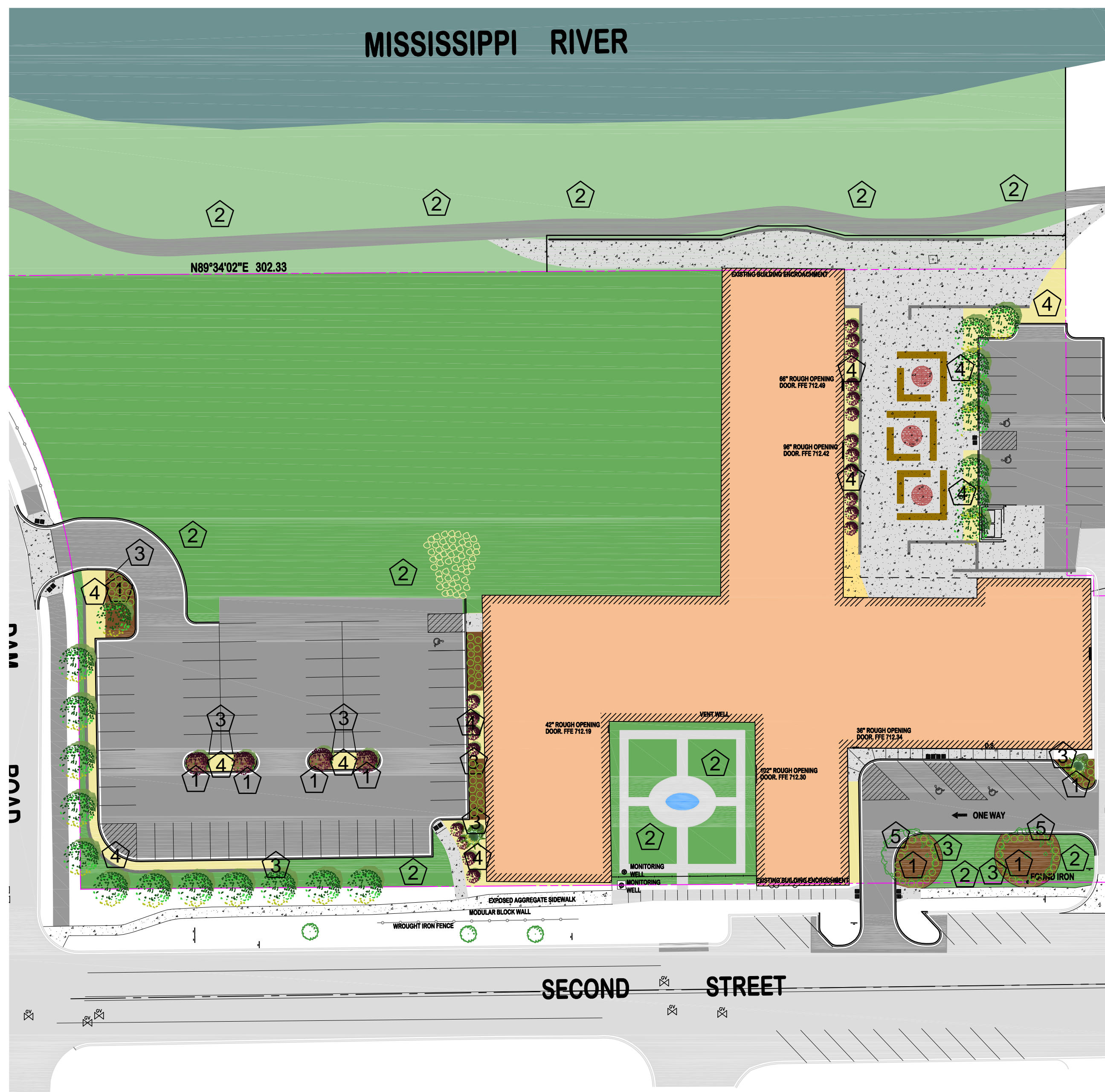
8 CATCH BASIN
 C5 NO SCALE



NOTES:
 TOOLED JOINTS:
 1) JOINT SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE ON PLANS.
 EXPANSION JOINTS:
 1) WHERE WALK BUTTS ANY FIXED OBJECT SUCH AS WALLS, CURBS, MANHOLES, ETC.
 2) 45' ON CENTER MAXIMUM OR AS SHOWN ON PLANS.
 3) JOINT SEALER SHALL MEET ASTM D-412, GRAY, SELF LEVELING, EPOXY, AS WITH "QUICKJOINT 300" OR EQUAL.

4 CONCRETE SIDEWALK DETAIL
 C5 NO SCALE

MISSISSIPPI RIVER

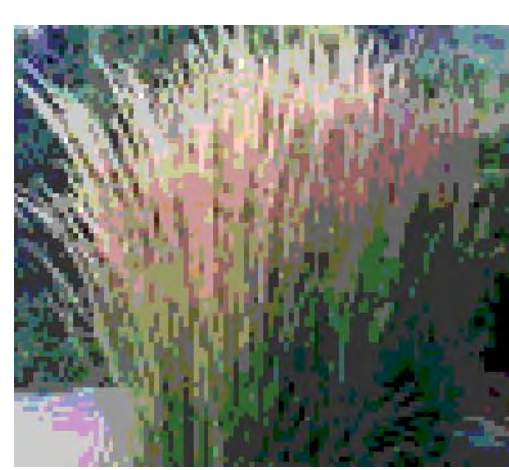


PLANT PALATE

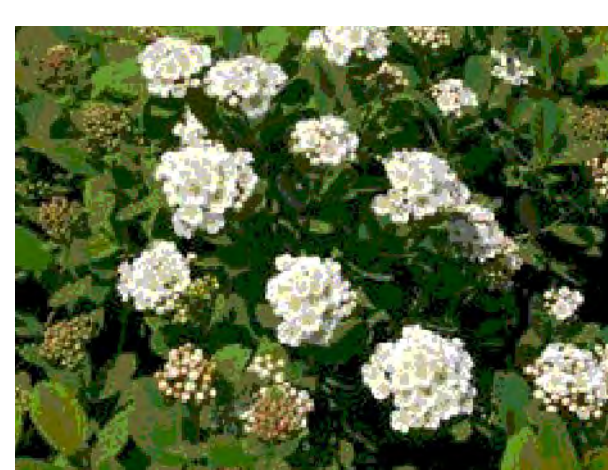
	Plant Name	Latin Name	Size	Type
A	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	2-1/2" DIA.	B&B
B	Prairie Fire Crab Apple	Malus sp. 'Prairiefire'	2-1/2" DIA.	B&B
C	Snowdance Japanese Lilac	Syringa reticulata 'Snowdance'	2-1/2" DIA.	B&B
D	Royal Red Norway Maple	Acer platanoides 'Royal Red'	2-1/2" DIA.	B&B
E	Fat Albert Blue Spruce	Picea pungens 'Fat Albert'	2-1/2" DIA.	B&B
F	River Birch Clump	Betula nigra 'Heritage' 'Clump'	10-FT	B&B
G	Diablo Nine Bark	Physocarpus opulifolius 'Monlo.' 'Diablo'	#5	Container
H	Spirea Tor Birchleaf	Spiraea betulifolia 'Tor'	#2	Container
J	Purple Emperor Sedum	Sedum 'Purple Emperor'	#1	Container
K	Strawberry Candy Daylily	Hemerocallis 'Strawberry Candy'	#1	Container
L	Karl Foerster Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	#1	Container
M	Cardinal Dogwood	Cornus sericea 'Cardinal'	#5	Container



Strawberry Candy Daylily



Karl Foerster Reed Grass



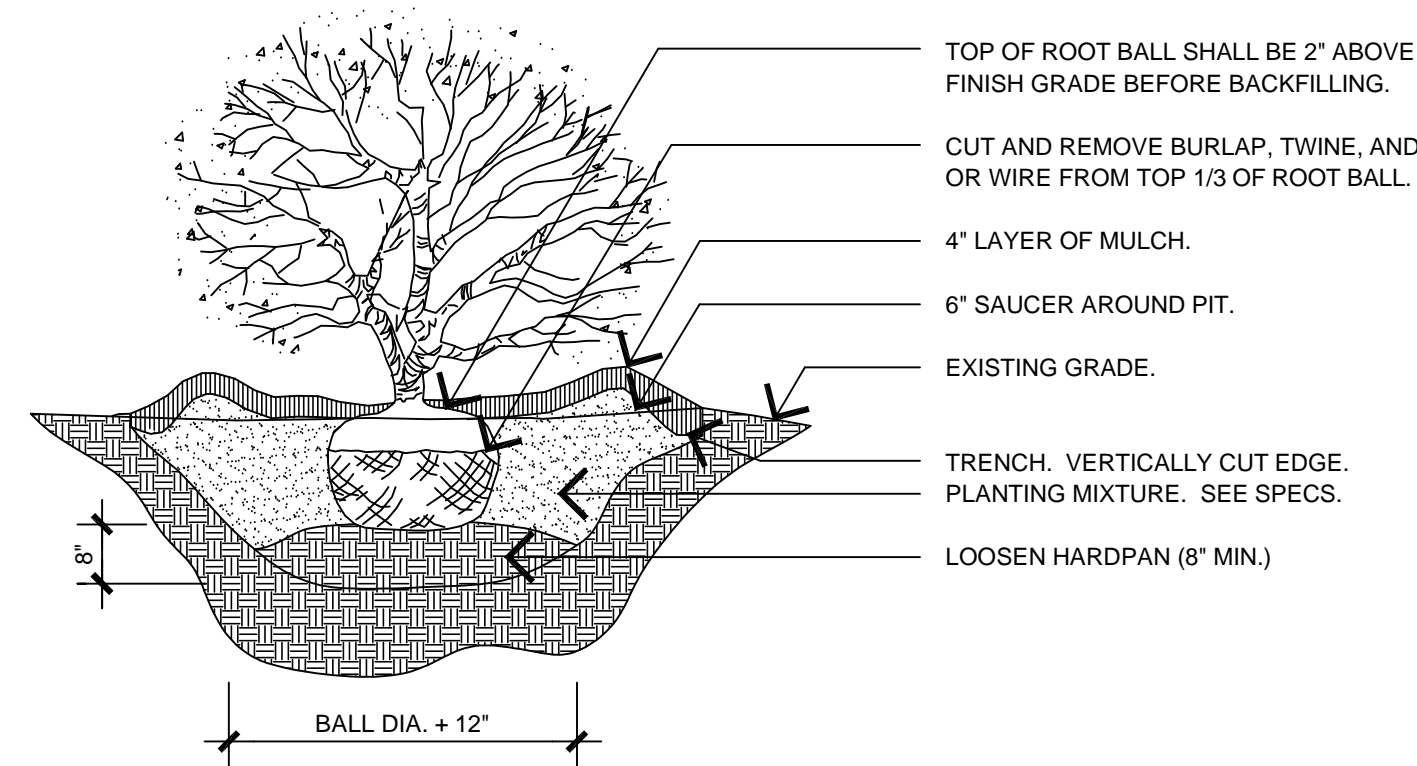
Spirea Tor Birchleaf



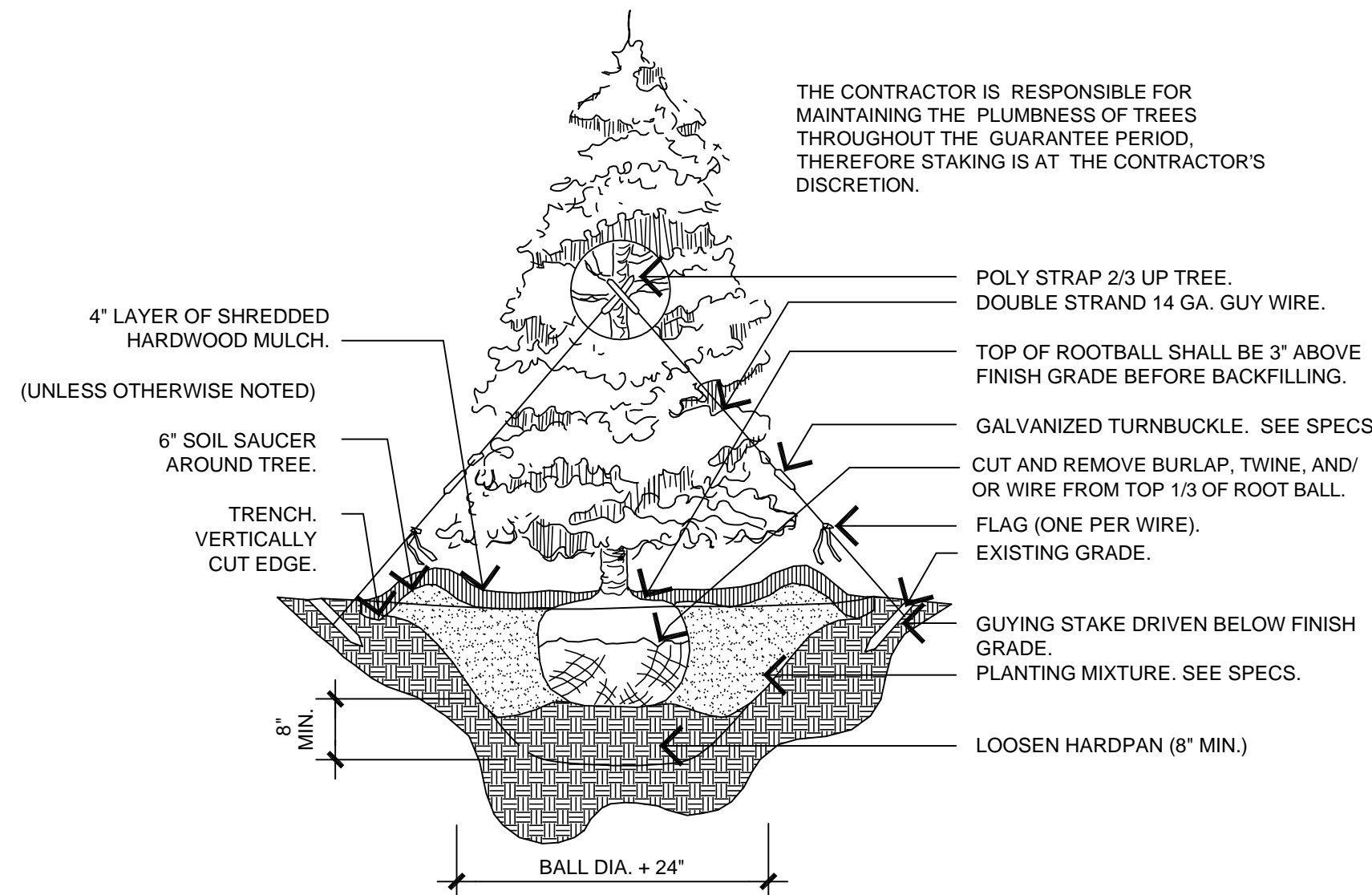
Diablo Nine Bark



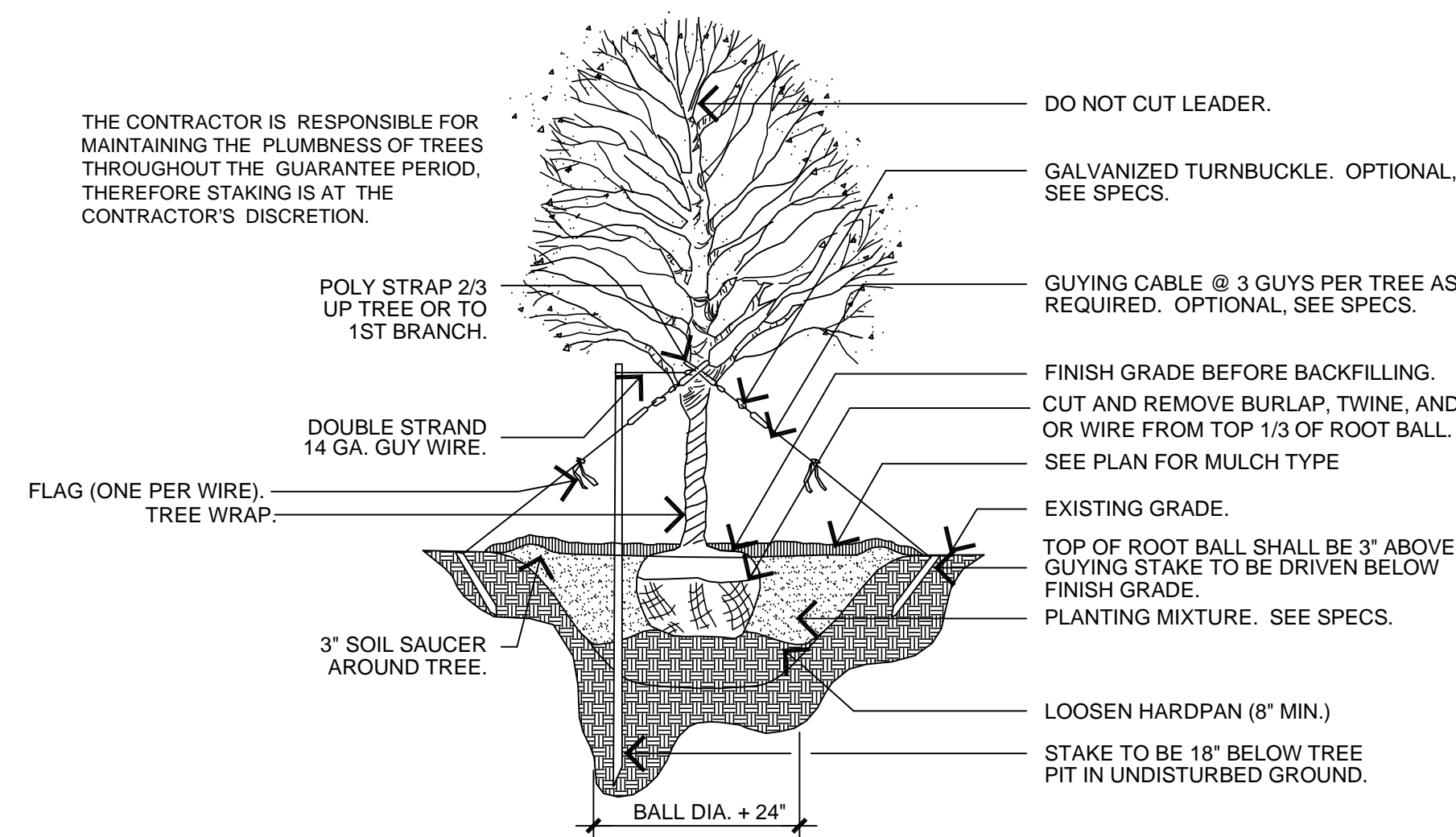
Purple Emperor Stonecrop



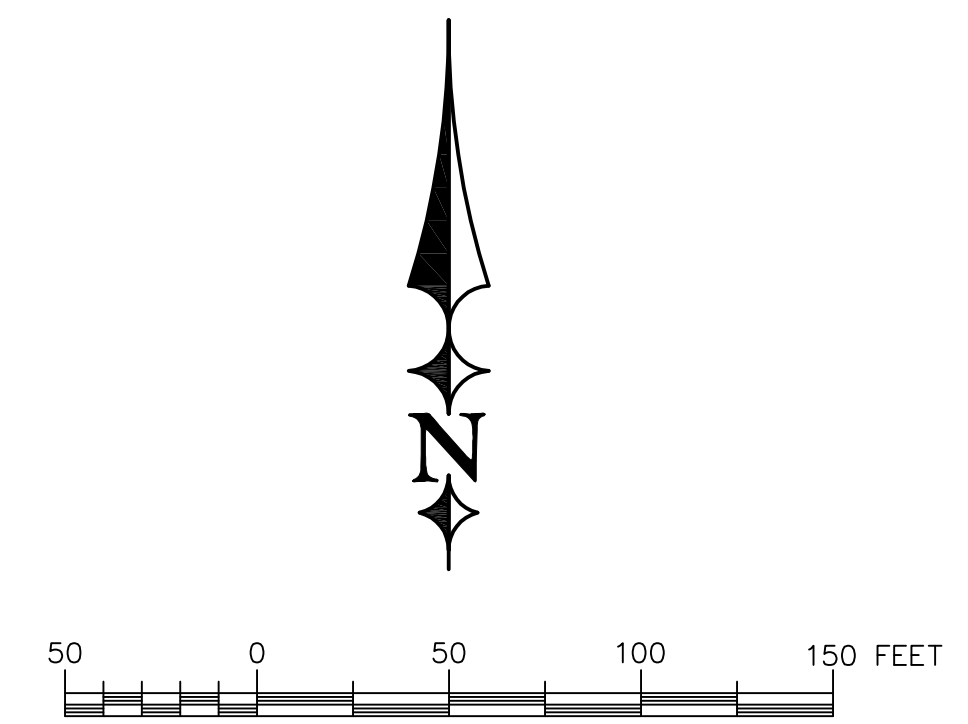
SHRUB PLANTING



CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING



LEGEND:

- EXTERIOR PROPERTY BOUNDARY
- 1 DENOTES PROPOSED DECIDUOUS TREE
- 2 DENOTES PROPOSED ORNAMENTAL TREE
- 3 DENOTES PROPOSED CONIFEROUS TREE
- 4 DENOTES PROPOSED #5 SHRUB (5 TO 6-FT MATURITY SIZE)
- 5 DENOTES PROPOSED #5 CONIFEROUS SHRUB (2 TO 3-FT MATURITY SIZE)
- 6 DENOTES PROPOSED #1 PERENNIAL

KEYED NOTES:

- 1 6" COARSE SHREDED HARDWOOD MULCH (NO FABRIC)
- 2 6" OF TOPSOIL AND HYDROSEED 220 LBS./ACRE LOW GROW FESCUE WITH 20 LBS./ACRE ANNUAL RYE, WITH TACKIFIER AND FERTILIZER.
- 3 HEAVY DUTY BROWN METAL EDGING.
- 4 4" OF 2"-4" LIMESTONE ROCK OVER MNDOT TYPE IV GEOTEXTILE, NON-WOVEN
- 5 APPLY A DEEP ROOT FERTILIZER TO EXISTING BOX ELDER(S) TO REMAIN.

NOTES:

- 1) ALL PLANTING BEDS SHALL RECEIVE MIN. 6" TOPSOIL, HEAVY LANDSCAPE FABRIC AND BROWN METAL EDGING WHERE MULCH MEETS LAWN.
- 2) ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL
- 3) ENTIRE SITE SHALL BE IRRIGATED. DESIGN/BUILD BY CONTRACTOR.
- 4) SEE PLAN FOR AREAS OF SEED AND BLANKET AREAS. AREAS CALLED OUT FOR SEEDING SHALL RECEIVE LOW GROW FESCUE MIX FROM TWIN CITY SEED COMPANY AND BE SEEDED AT A RATE OF 220 LBS. PER ACRE, W/ 20LBS/ACRE ANNUAL RYE.
- 5) BUILDING CONTRACTOR SHALL INCLUDE COST OF ELECTRICAL AND PLUMBING FOR INSTALLATION OF IRRIGATION SYSTEM. IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.
- 6) MAINTENANCE STRIP AND OTHER AREAS IDENTIFIED FOR MULCH SHALL BE 4" MINUS WASHED LIMESTONE PLACED AT A MIN. DEPTH OF 4" OVER GEOTEXTILE FABRIC TYPE IV. PERENNIAL AND ANNUAL PLANTING AREAS SHALL RECEIVE 6" OF COARSE SHREDED HARDWOOD MULCH WITH NO FABRIC.

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40418

LICENSE NO.

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PROJECT TITLE
GREAT RIVERS LANDING
HASTINGS, MINNESOTA

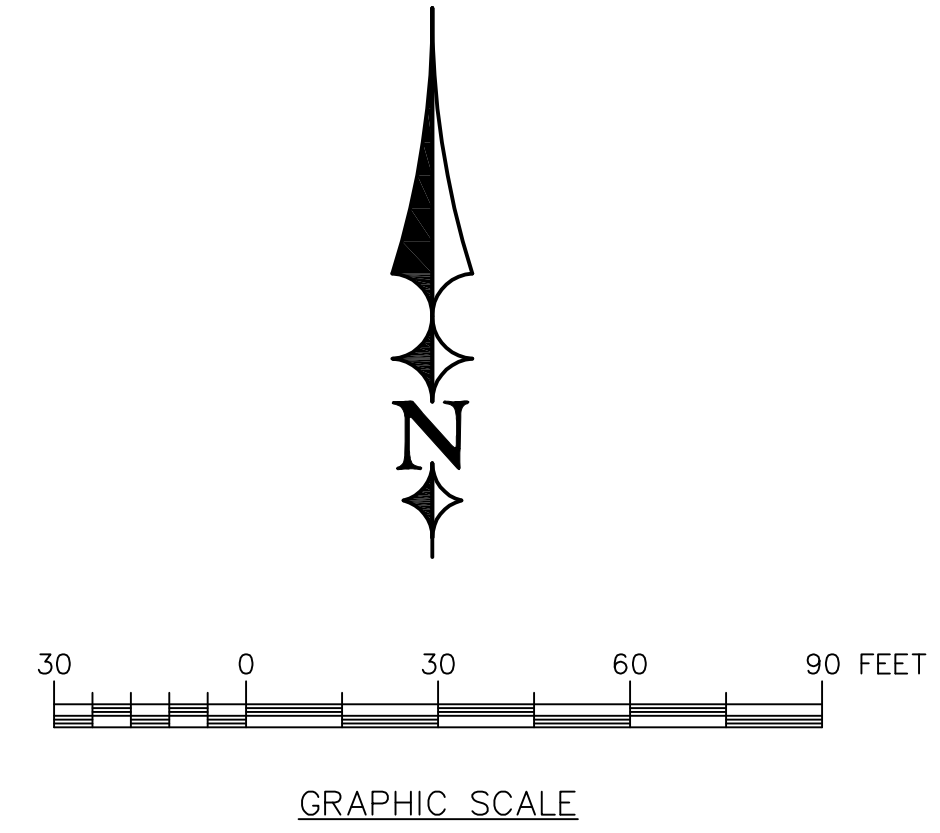
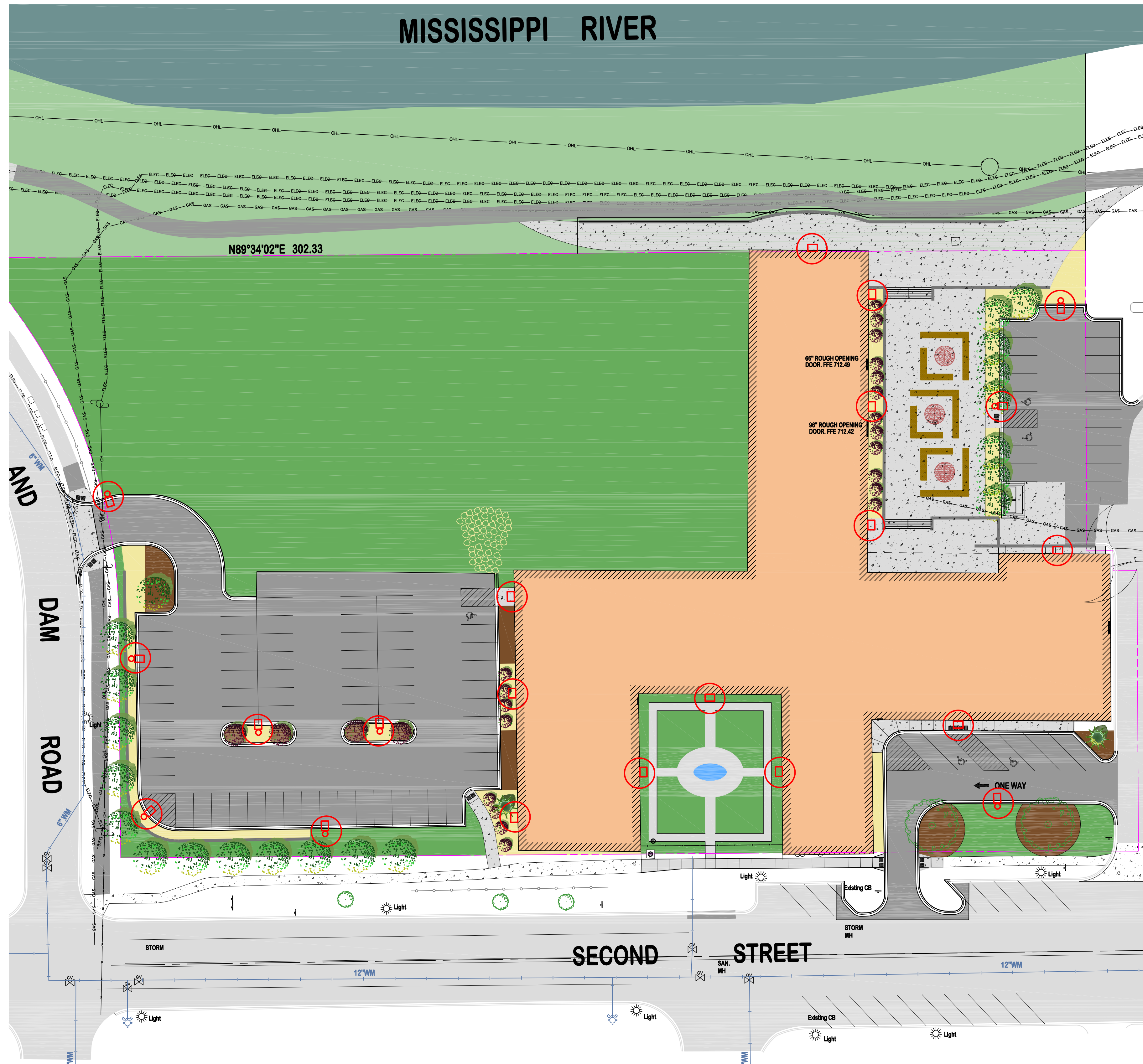
NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-143

SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L1
SHEET 1 OF 1

MISSISSIPPI RIVER



LEGEND:

- PROPOSED BOUNDARY
- SINGLE - 20-FT POLE MOUNTED - LED - FULL CUT OFF - SR3 TWO ENGINE
- SINGLE - 14-FT BUILDING MOUNTED - LED - FULL CUT OFF - CSXW SR4
- CALCULATED LUMEN

NOTES:

- 1) FINAL DESIGN OF ELECTRICAL SYSTEM BY LICENSED ELECTRICAL CONTRACTOR
- 2) WIRING LOCATION AND SIZING TO BE DETERMINED BY INSTALLING ELECTRICIAN
- 3) INSTALLATION SHALL INCLUDE CONNECTION TO EXISTING POWER PANEL ON INTERIOR OF BUILDING
- 4) INSTALLATION SHALL INCLUDE THE INSTALLATION OF A TIMER AND LIGHT SENSOR

PARKING LOT LIGHTING

CSX1 LED Area Luminaire

Specifications

Length: 48.00"

Width: 24.00"

Height: 14.00"

Weight: 22.00 lbs

Ordering Information

Code	Part No.	Quantity	Color	Beam Angle	Notes
CSX1	13087004W-SR3-MVCT-SPA-ED000	1	White	30°	Example

Accessories

Mounting Detail

BUILDING MOUNTED LIGHTING

CSXW LED Wall Luminaire

Specifications

Height: 14.00"

Width: 24.00"

Weight: 22.00 lbs

Ordering Information

Code	Part No.	Quantity	Color	Beam Angle	Notes
CSXW	13087004W-SR3-MVCT-SPA-ED000	1	White	30°	Example

Accessories

Mounting Detail

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 101 East 10th Street, Suite 300
 Hastings, MN 55033

PROJECT TITLE
COVENTRY COOPERATIVE
 HASTINGS, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 15-143

SHEET TITLE
LIGHTING PLAN

SHEET NO.
E1
 SHEET 1 OF 1



**GREAT RIVER LANDING
HASTINGS, MINNESOTA**





KEY

- Public Improvement Area
- 1 Restaurant Outdoor Dining
- 2 Terraced Plaza
- 3 1st Floor Bike/ Boat Rental & Café
- 4 Plaza Entrance
- 5 Plaza with Outdoor Dining
- 6 Interactive Water Feature
- 7 Open Lawn with Sculptural Seating
- 8 Trail Access/ Lower Plaza/ Bike Parking
- 9 Mississippi River Trail
- 10 Sculptural Mounding/ Landscape
- 11 Bio-retention with Sculptural Mounding
- 12 Parking

GREAT RIVER LANDING
 HASTINGS, MINNESOTA
 SCHEMATIC PUBLIC PLAZA PLAN . 20 JUNE 2014

PROJECT NORTH
 1" = 60'-0"





Green Infrastructure Goals

Total Rainwater Capture Area (as outlined): 122,500 Square Feet
 Gallons of Water during One-Inch Rain Event: 68,700 Gallons
 Based on preliminary design and represents optimal capture within defined area.



A Bioswale / Rain Gardens
 The bioswale allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



B Roof Runoff
 Water will be collected from the roof and piped to an underground cistern that is connected to an irrigation system. Once the cistern is full, excess roof water will be diverted to the bioswale.



C Irrigation / Cistern
 The cistern could be sized to capture a one inch rain event over the roof area, approximately 7,300 gallons of water. The water will be stored below the ground until such time as the irrigation system is used to maintain the landscaping during time of drought.



D Road Runoff
 Approximately 14,000 SF of stormwater runoff from Second Street and Lock and Dam Road can be diverted into tree wells and bioswales. During a one-inch rain event, potential capture could be 7,800 gallons.



E Cistern
 The cistern will receive roof water and be utilized for irrigation of the lawn and other landscaped areas.



F Parking Lot Runoff
 Water will sheet flow toward the bioswale / rain gardens and allow for absorption of 13,000 gallons of water during a one inch rain event. Permeable paving will be explored should the capacity of the rain gardens be maximized.



G Lawn Infiltration
 The oval lawn will accommodate a wide range of uses ranging from picnics to festivals. The lawn will be engineered for good drainage and optimal turf growth, allowing for summer long events to take place.



H Sculptural Berming
 The park consists of elliptical forms, including berming throughout the rain gardens. Children of all ages can climb onto the berms to get a closer look at the perennial plantings within the bioswales or lay back and watch the clouds go by.



Bioswale / Rain Gardens

The bioswale allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



Roof Runoff

Water will be collected from the roof and piped to an underground cistern that is connected to an irrigation system. Once the cistern is full, excess roof water will be diverted to the bioswale.



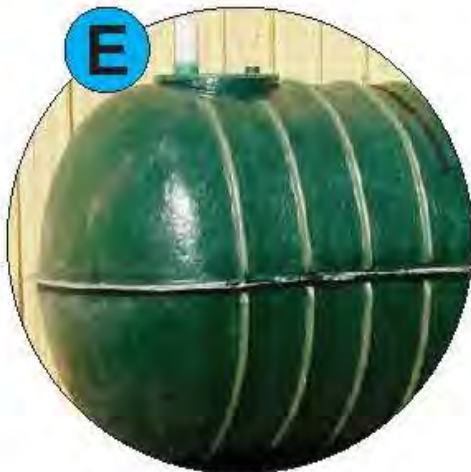
Irrigation / Cistern

The cistern could be sized to capture a one inch rain event over the roof area, approximately 7,300 gallons of water! The water will be stored below the ground until such time as the irrigation system is used to maintain the landscaping during time of drought.



Road Runoff

Approximately 14,000 SF of stormwater runoff from Second Street and Lock and Dam Road can be diverted into tree wells and bioswales. During a one-inch rain event, potential capture could be 7,850 gallons.



Cistern

The cistern will receive roof water and be utilized for irrigation of the lawn and other landscaped areas.



Parking Lot Runoff

Water will sheet flow toward the bioswale / rain gardens and allow for absorption of 13,000 gallons of water during a one inch rain event. Permeable paving will be explored should the capacity of the rain gardens be maximized.



Lawn Infiltration

The oval lawn will accommodate a wide range of uses ranging from picnics to festivals. The lawn will be engineered for good drainage and optimal turf growth, allowing for summer long events to take place.



Sculptural Berming

The park consists of elliptical forms, including berming throughout the rain gardens. Children of all ages can climb onto the berms to get a closer look at the perennial plantings within the bioswales or lay back and watch the clouds go by.