



Planning Commission Memorandum

To: Planning Commissioners
From: Justin Fortney, City Planner
Date: November 22, 2021
Item: Site Plan – Jersey Mikes Restaurant 2021-49 – 1217 Vermillion Street

Planning Commission Action Requested

Review the proposal to reconstruct a site for a Jersey Mike’s and make a recommendation to the City Council.

Background Information

The applicants are proposing reconstruct the property most recently used by Enterprise car rental, which was constructed as a Taco John’s. They will reconstruct most site improvements.

Comprehensive Plan

The property is guided Commercial within the 2040 Comprehensive Plan.

Zoning

The property is zoned C-3 – Community Regional Commerce. Allowable uses include restaurants, retail sales and services, etc.

Existing Condition

The existing site is relatively functional, but deteriorated.

Adjacent Zoning and Land Use

The following land uses abut the property:

Direction	Use	Comp Plan District	Zoning District
North	Dunkin and Homes	Commercial/ Res	C-3/ R3 – Med-High Den.
East	Homes	Residential – Med. Dens.	R-2 – Med. Dens.
South	House of Wines	Commercial	C-3
West	Hastings Bus Garage	Commercial	C-3

Site Plan Review

Vehicular Access and Circulation

The existing site works well. The proposal is nearly identical to the existing configuration. One-way signs are required for entrance/ exits. The drive-thru stacking space should be sufficient.

Building Setbacks

There are no prescribed minimum setbacks within the zoning district, however, proposed setbacks are reviewed during site plan review for conformaty with the area. Building setbacks are existing and have been adiquate.

Required Parking

Parking meets minimum requirements as follows:

Required Parking	Seats	Parking	
		Requirement	Needed Proposed
Restaurant	26	1 per 3 seats	9 12

Architectural Design

The applicant is proposing a front façade with a great amount of stucco. There will also be some commercial panneling and metal pannels along the top. Windows are proposed at the storefront and near the entries.

Landscape Plan

The proposed landscaping meets the requirements based on the following:
The existing perimeter landscaping meets the buffer and tree requirements, along with the addition of added front trees and many shrubs. There is an existing privacy fence in the rear, which will be repaired as needed.

Lighting Plan

Lighting locations will be similar to existing with wall pack lighting. Auto controls are required.

Grading, Drainage, Erosion Control and Utility Plan Review

The drainange, grading and erroson control plan is being reviewed by the City Engineering Department for compliance. The proposed site drainage will be the same as existing.

Recommendation

Approval of the Site Plan is recommended subject to the following conditions:

1. Conformance with the plans submitted with the Planning Commission Staff Report dated November 22, 2021

2. All disturbed areas on the property shall be protected to eliminate erosion control problems.
3. Approval of a building permit.
4. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.
5. The City Engineering Department must approve the grading, drainage, and erosion control plan.
6. State right-of-way permits are needed for the proposed entrances.
7. Incorporate final requirements from MNDot's review.

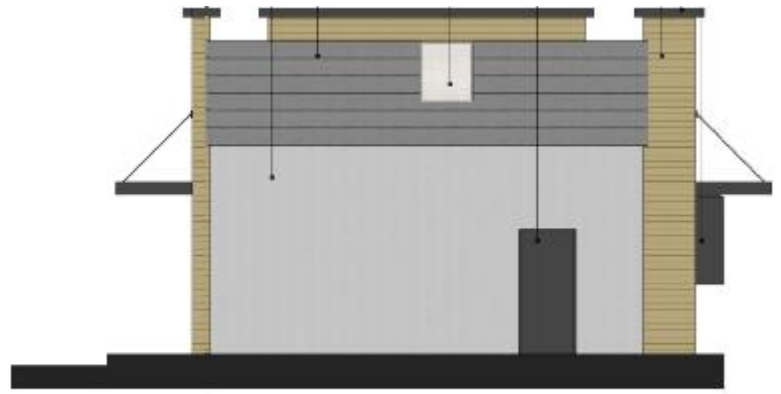
ATTACHMENTS

- Site Location Map
- Site Picture
- Architectural Elevations
- Site Plan





WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



SITE OVERVIEW

NOT TO SCALE

SITE ADDRESS

1217 VERMILLION STREET
HASTINGS, MN 55033

FLOOD INSURANCE RATE MAP

FIRM MAP NUMBER: 27037C0276F
EFFECTIVE DATE: MARCH 16, 2016

PARCEL IDENTIFICATION NUMBER

197730004220

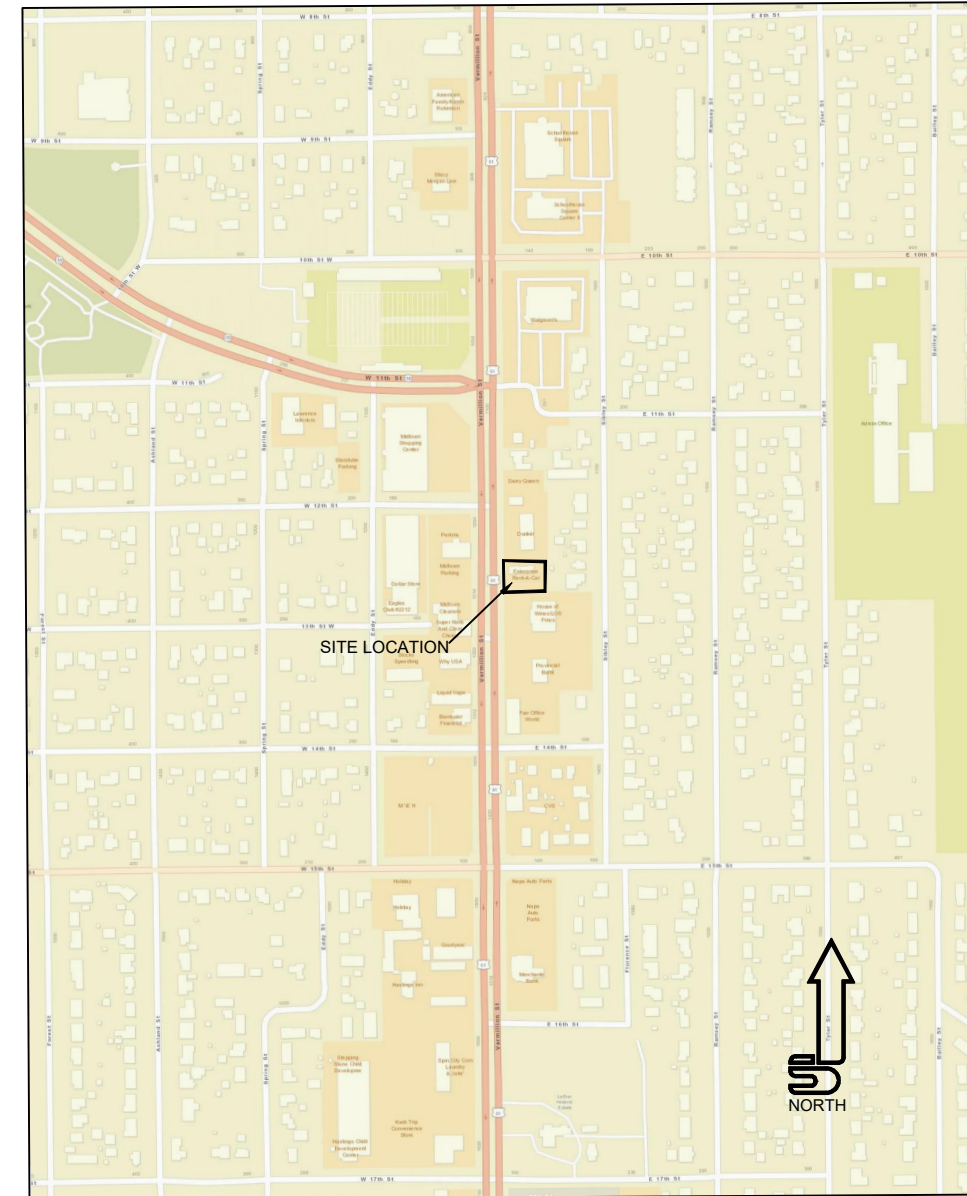
ZONING

CURRENTLY ZONED: C-3 COMMUNITY REGIONAL COMMERCE

INDEX TO PLAN SHEETS

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This plan contains 13 Total sheets



VICINITY MAP

MAP NOT TO SCALE

NOTES

- 1.) NO CONSTRUCTION MAY BEGIN UNTIL EROSION AND SEDIMENT CONTROLS ARE IN PLACE AND APPROVED BY THE CITY OF HASTINGS.
- 2.) NO CONSTRUCTION MAY BEGIN UNTIL A PRECONSTRUCTION MEETING IS HELD WITH THE CITY OF HASTINGS.
- 3.) PREVAILING SPECIFICATIONS: CITY OF HASTINGS, MN MUTCD, MNDOT SPECIFICATIONS, CEAM SPECIFICATIONS.
- 4.) NO CHANGES SHALL BE MADE TO APPROVED PLANS WITHOUT WRITTEN CONSENT OF THE CITY OF HASTINGS.
- 5.) ONLY CITY OF HASTINGS EMPLOYEES ARE PERMITTED TO OPERATE VALVES AND HYDRANTS.
- 6.) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
- 7.) EXISTING "AS-BUILT" INFO IS FROM TOPOGRAPHIC SURVEY.
- 8.) NO GOPHER ONE CALL WAS MADE FOR THIS SURVEY AND DESIGN.

JOHNSON & SCOFIELD INC.
Surveying & Engineering,

1203 Main Street Red Wing, MN 55066
ph. 651.388.1558 fax 651.388.1559

PRELIMINARY
NOT FOR
CONSTRUCTION

DESIGNED SPD
DRAWN SPD
CHECKED SPV

REVISED	BY	DATE

LATEST REVISION: 11/09/2021
Prepared For:
STOTKO SPEEDLING
1303 EDDY STREET, SUITE #2
HASTINGS, MN 55033
PHONE: 651-480-0055

JERSEY MIKE'S



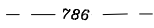
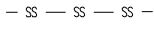
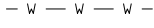











HASTINGS, MINNESOTA



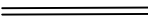












TITLE SHEET

SHEET 1 OF 13 SHEETS

LEGEND

THESE LINES AND SYMBOLS ARE FOUND IN THIS PLAN SET.

-  DENOTES PROPERTY LINE
-  DENOTES EXISTING FENCE.
-  DENOTES EXISTING CONTOUR AND ELEVATION.
-  DENOTES EXISTING SANITARY SEWER SERVICE.
-  DENOTES EXISTING WATER SERVICE.
-  DENOTES EXISTING CORPORATION VALVE.
-  DENOTES EXISTING CATCH BASIN.
-  DENOTES EXISTING LIGHT POLE.
-  DENOTES EXISTING POWER POLE.
-  DENOTES EXISTING MANHOLE.
-  DENOTES EXISTING RETAINING WALL.
-  DENOTES EXISTING SIGN.
-  DENOTES EXISTING SHRUB.
-  DENOTES EXISTING DECIDUOUS TREE.
- + EFL: 787.76** DENOTES EXISTING FLOW LINE ELEVATION
- + EB: 787.38** DENOTES EXISTING BITUMINOUS
- + EC: 787.68** DENOTES EXISTING CONCRETE ELEVATION
-  DENOTES EXISTING BITUMINOUS SURFACE.
-  DENOTES EXISTING CONCRETE SURFACE.

-  DENOTES PROPOSED INLET PROTECTION
-  DENOTES PROPOSED MODULAR BLOCK RETAINING WALL.
-  DENOTES PROPOSED B618 CURB AND GUTTER.
-  DENOTES PROPOSED CONTOUR AND ELEVATION.
-  DENOTES PROPOSED TRAFFIC FLOW DIRECTION
-  DENOTES PROPOSED ADA LOADING AREA
-  DENOTES PROPOSED ADA PARKING SYMBOL
-  DENOTES PROPOSED CONCRETE
-  DENOTES PROPOSED BITUMINOUS SURFACE
-  DENOTES PROPOSED TURF AREA
-  DENOTES PROPOSED DECIDUOUS TREE
-  DENOTES PROPOSED SHRUB
-  DENOTES PROPOSED PERENNIAL
-  DENOTES LANDSCAPE KEY
- CE: 787.92** DENOTES PROPOSED CONCRETE ELEVATION
- TBC: 787.86** DENOTES PROPOSED TOP BACK OF CURB ELEVATION
- FL: 787.70** DENOTES PROPOSED FLOW LINE ELEVATION
-  DENOTES PROPOSED GROUND SLOPE AND FLOW DIRECTION

	DESIGNED	REVISION	BY	DATE	LATEST REVISION: 11/09/2021
DESIGNED	SPD				Prepared For:
DRAWN	SPD				STOTKO SPEEDLING
CHECKED	SPV				1303 EDDY STREET, SUITE #2
					HASTINGS, MN 55033
					PHONE: 651-480-0055

EROSION CONTROL NOTES

- CONTRACTOR SHALL INSTALL PERIMETER SILT FENCE BEFORE START OF ANY CONSTRUCTION ACTIVITY. SEE DETAIL SHEET(S). TO PREVENT SEDIMENT RUNOFF FROM REACHING THE CURB OR STREET RIGHT OF WAY, PERIMETER DOWNSLOPE SILT FENCE SHALL BE INSTALLED ACROSS ALL PRIVATE LOTS. WHILE STILL VULNERABLE DUE TO EXPOSED SOIL, ROCK CHECK DAMS WILL BE PLACED EVERY 25 FEET ALONG THE CENTERLINE OF EACH DRAINAGE SWALE ON GRADES EXCEEDING 4% TO REDUCE FLOW VELOCITIES THAT CAUSE EROSION.
- TO PREVENT TRACKING OF DIRT ONTO HARD SURFACE STREET RIGHT-OF-WAY, ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED AND MAINTAINED UNTIL VEHICLE ENTRANCES ONTO THE SITE ARE NO LONGER REQUIRED AND TOPSOIL IS SCHEDULED TO BE REPLACED. ALL VEHICLE ACCESS TO THIS SITE SHALL USE THE ROCK CONSTRUCTION ENTRANCES. SHOULD THE ROCK CONSTRUCTION ENTRANCES BECOME INEFFECTIVE DUE TO EXCESSIVE SOIL CONTAMINATION, THEY SHALL BE REMOVED AND REPLACED. SEE DETAIL SHEET(S).
- SUFFICIENT TOPSOIL IS TO BE SALVAGED TO PROVIDE COVER AFTER GRADING OPERATIONS. ALL SOIL STOCKPILES AND FINISHED GRADED AREAS ARE TO BE SEEDED IMMEDIATELY IN ORDER TO ESTABLISH VEGETATION WITH WHEAT OR RYE GRASS @ 100 LB./ACRE DURING CONSTRUCTION. INSTALL AND MAINTAIN APPROVED INLET PROTECTION AT ALL ACTIVE STORM SEWER INLETS. SEE DETAIL SHEET(S). SEDIMENT RUNOFF SHOULD BE MINIMIZED BY RESPONSIBLE SITE EROSION CONTROL. EROSION CONTROL MEASURES MUST BE INSPECTED BY THE CITY BEFORE ANY GRADING ACTIVITY BEGINS. TO PREVENT SILT AND SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM, A FILTER BAG INSERT, SEDIMENT CONTROL INLET HAT, ROCK LOG RING OR OTHER DEVICE APPROVED BY THE CITY, SHALL BE INSTALLED AT THE INLET.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE. AREAS THAT HAVE BEEN DISTURBED OR AT FINISH GRADE, BUT HAVE NO ACTIVE WORK, SHALL BE SEEDED AND MULCHED OR SODDED WITHIN 14 DAYS, EXCEPT ON SLOPES STEEPER THAN 4H:1V. STEEPER SLOPES SHALL BE SEEDED AND COVERED WITH AN EROSION CONTROL BLANKET OR SEEDED AND MULCHED WITH A TACKIFYING AGENT OR SODDED. AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE VEGETATED. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEEDED GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND THERE ARE NO SIGNS OF ONGOING EROSION. IF SOD IS PLACED IN-LIEU OF SEED, IT SHALL BE WATERED AND MAINTAINED AND SHOW NO SIGNS OF STRESS FOR AT LEAST 30 DAYS. THE CITY SHALL APPROVE FINAL SITE STABILIZATION.
- A CONCRETE WASHOUT AREA IS REQUIRED FOR ALL CONCRETE CONSTRUCTION. THE WASHOUT SYSTEM CAN BE A PORTABLE UNIT PROVIDED BY THE CONCRETE SUPPLIER OR AN IN-GROUND SYSTEM CONSTRUCTED BY THE CONTRACTOR. ONE ACCEPTABLE METHOD OF CREATING AN IN-GROUND WASHOUT PIT WOULD BE TO EXCAVATE A 3 FOOT DEEP AREA (MIN. 3' WIDTH X VARIABLE LENGTH AS NEEDED), LINED WITH 10 MIL. PLASTIC AND PERIMETER ANCHORED WITH SAND BAGS OR AGGREGATE. IF THE LINING BECOMES DAMAGED (PUNCTURED OR RIPPED), THE WASHOUT SHALL NOT BE USED UNTIL THE LINING IS REPAIRED. CONCRETE POURS SHALL NOT BE CONDUCTED DURING OR BEFORE AN ANTICIPATED STORM EVENT. CONCRETE WASTES SHALL BE ALLOWED TO HARDEN, BROKEN UP, THEN DISPOSED OF ACCORDING TO LOCAL ORDINANCE. THIS WASHOUT PIT SHALL BE LOCATED AWAY FROM ALL STEEP SLOPES AND DRAINAGE INLETS.
- A NPDES STORM WATER PERMIT FOR CONSTRUCTION IS NOT REQUIRED FOR THIS PROJECT.

DEMOLITION NOTES

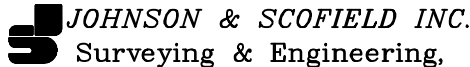
- ALL ASPHALT TO REMAIN SHALL BE SAW CUT AT LIMITS OF REMOVAL.
- LOCATE AND PROTECT ALL UTILITY LINES PRIOR TO AND DURING DEMOLITION AND GRADING OPERATIONS. UTILITY LOCATIONS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE NOT GUARANTEED.

SITE PLAN NOTES

- BUILDING DIMENSIONS MUST BE VERIFIED WITH ARCHITECTURAL DRAWINGS. IN THE EVENT OF A DISCREPANCY ARCHITECTURAL DIMENSIONS SHALL BE USED.
- TURF ESTABLISHMENT BY CLIENT WITH CUSTOM LOW GROWTH SEED MIX.
- GRASS AREAS IN THE PARKING LOT SHALL HAVE A MINIMUM OF 12" OF TOPSOIL.

GRADING NOTES

- BEFORE CONSTRUCTION BEGINS, SILT FENCE SHALL BE INSTALLED ALONG THE DOWN SLOPE SIDE OF THIS PROJECT AREA AND SHALL BE MAINTAINED AND REMAIN IN-PLACE UNTIL THE ENTIRE SITE IS STABILIZED.
- ALL SLOPES OF 3:1 OR GREATER SHALL HAVE AN EROSION CONTROL BLANKET INSTALLED AS SOON AS GRADING OPERATIONS HAVE BEEN COMPLETED. EROSION CONTROL BLANKET SHALL BE MNDOT CATEGORY 4P(MNDOT SPECS 3885 & 2575. SEE DETAIL SHEET(S).
- AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE TO MINIMIZE EROSION. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEEDED GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND THERE ARE NO SIGNS OF ONGOING EROSION. IF SOD IS PLACED IN-LIEU OF SEED, IT SHALL BE WATERED AND MAINTAINED AND SHOW NO SIGNS OF STRESS FOR AT LEAST 30 DAYS. THE SEED MIXTURE SHALL BE "CUSTOM LOWGROW", WITH EQUAL PARTS CELESTIAL CREEPING RED FESCUE, SHADOW III CHEWING FESCUE, ECOSTAR HARD FESCUE, MARCO POLO SHEEP FESCUE, AND RELIANT HARD FESCUE.

 <p>1203 Main Street Red Wing, MN 55066 ph. 651.388.1558 fax 651.388.1559</p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>	DESIGNED <u>SPD</u>	REVISD	BY	DATE	LATEST REVISION: 11/09/2021	<p>JERSEY MIKE'S</p>	<p>ENGINEER'S NOTES</p>	
		DRAWN <u>SPD</u>	CHECKED <u>SPV</u>						Prepared For: STOTKO SPEEDLING 1303 EDDY STREET, SUITE #2 HASTINGS, MN 55033 PHONE: 651-480-0055
							HASTINGS, MINNESOTA	SHEET 3 OF 13 SHEETS	

UTILITY NOTES

THE CONTRACTOR SHALL COORDINATE ALL EXISTING UTILITY DISCONNECTS WITH THE UTILITY PROVIDERS..

EXISTING SERVICES SHALL BE USED FOR NEW BUILDING.

LANDSCAPE NOTES

ALL LANDSCAPING SHALL FOLLOW CITY OF HASTINGS ZONING CODE 155.53 .

ALL STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" SHALL BE USED AS THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.

PLANT ESTABLISHMENT PERIOD (PEP) IS 12 MONTHS FROM THE TIME OF ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE DURING THIS TIME, AND SHALL REPLACE ALL DEAD MATERIAL DURING PEP.

ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED, OR CONTAINER GROWN.

ALL PLANT MATERIAL SHALL BE HEALTHY, FREE OF DISEASE AND PEST.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS AND LAWN DURING PEP. THIS INCLUDES WATERING, MULCHING, SPRAYING, OR FERTILIZING ALL LAWN AND PLANT MATERIALS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THIS PLAN BEFORE PRICING THIS PLAN.

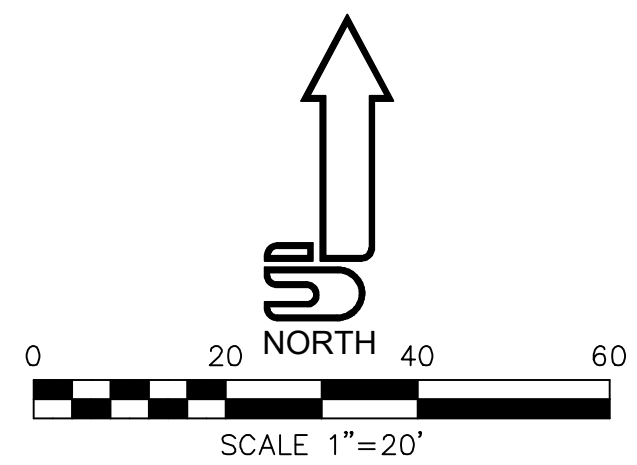
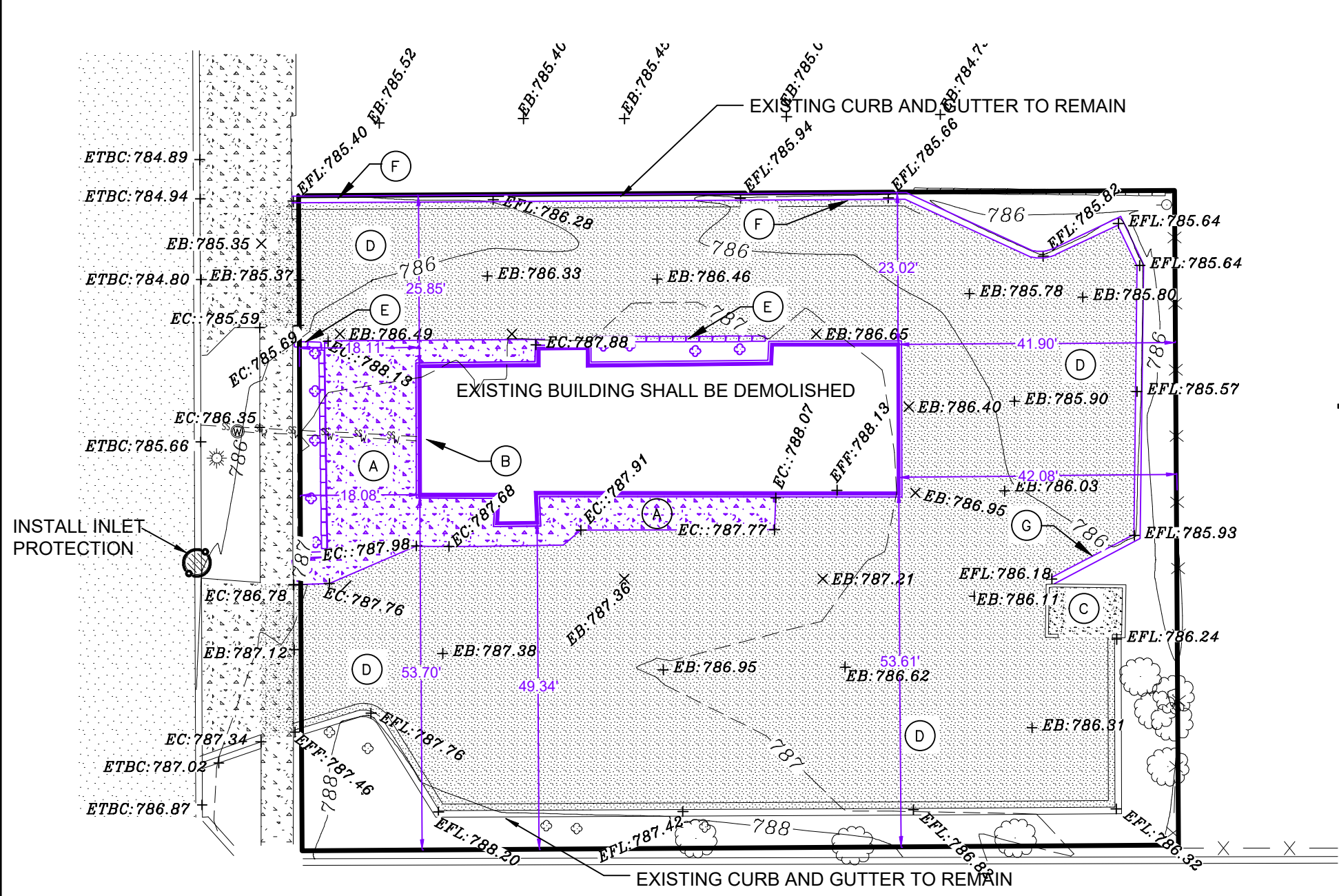
ONLY THE OWNER MAY SUBSTITUTE ANY SPECIES OR QUANTITIES SHOWN ON THIS PLAN.

ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER PLANTING.

THE CONTRACTOR SHALL AVOID ALL UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO ANY PLANTINGS.

LANDSCAPE BED SHALL HAVE A MINIMUM 6" DEPTH OF WOOD MULCH, OR WASHED LANDSCAPING ROCK. THE ENTIRE PERIMETER OF THE BED SHALL HAVE 6" TALL EDGING INSTALLED.

ALL PLANTINGS ARE SHOWN AT MATURE SPREAD.



CALL BEFORE YOU DIG
 GOPHER STATE
 ONE CALL
 TWIN CITY AREA 651-454-0002
 MN. TOLL FREE 1-800-252-1166

KEYNOTES:

- (A) REMOVE ALL CONCRETE.
- (B) DISCONNECT ALL UTILITIES.
- (C) TRASH ENCLOSURE BLOCK WALL SHALL REMAIN.
- (D) REMOVE BITUMINOUS PAVEMENT AFTER BUILDING CONSTRUCTION.
- (E) REMOVE RETAINING WALL AND ALL LANDSCAPING.
- (F) REMOVE CONCRETE RETAINING WALL AND CURB AND GUTTER.
- (G) REMOVE CURB AND GUTTER.

BMP LIST

ITEM	DESCRIPTION	UNITS	TOTAL ESTIMATED QUANTITY
1	INLET PROTECTION	EA	1

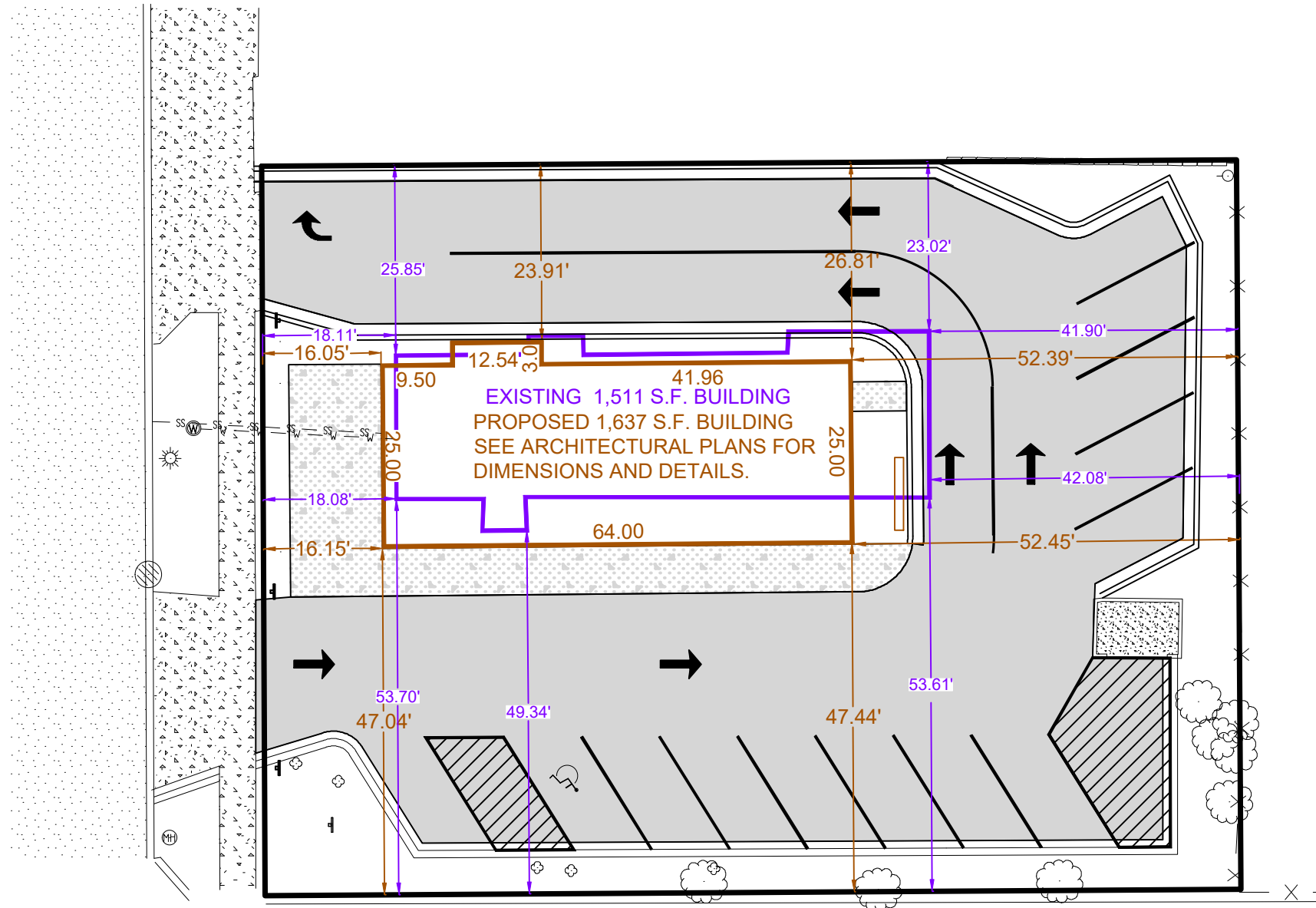
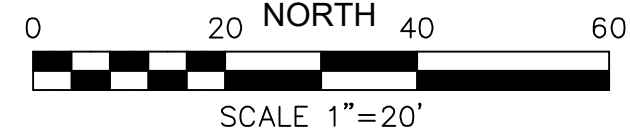
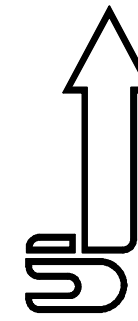
EXISTING SURFACES

BITUMINOUS.....8,516 S.F.
 CONCRETE.....926 S.F.
 BUILDING.....1,614 S.F.
 CONCRETE CURB AND GUTTER.....361 S.F.
 TOTAL IMPERVIOUS SURFACES...11,417 S.F.
 TOTAL GREEN SPACE.....1,693 S.F.
 TOTAL LOT AREA.....13,110 S.F.

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TWIN CITY AREA 651-454-0002
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Surveying & Engineering,

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JERSEY MIKE'S

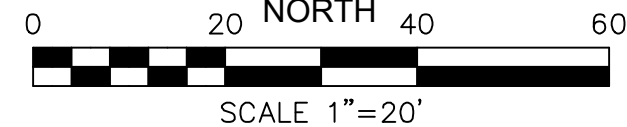
SITE COMPARISON

HASTINGS, MINNESOTA

SHEET 6 OF 13 SHEETS

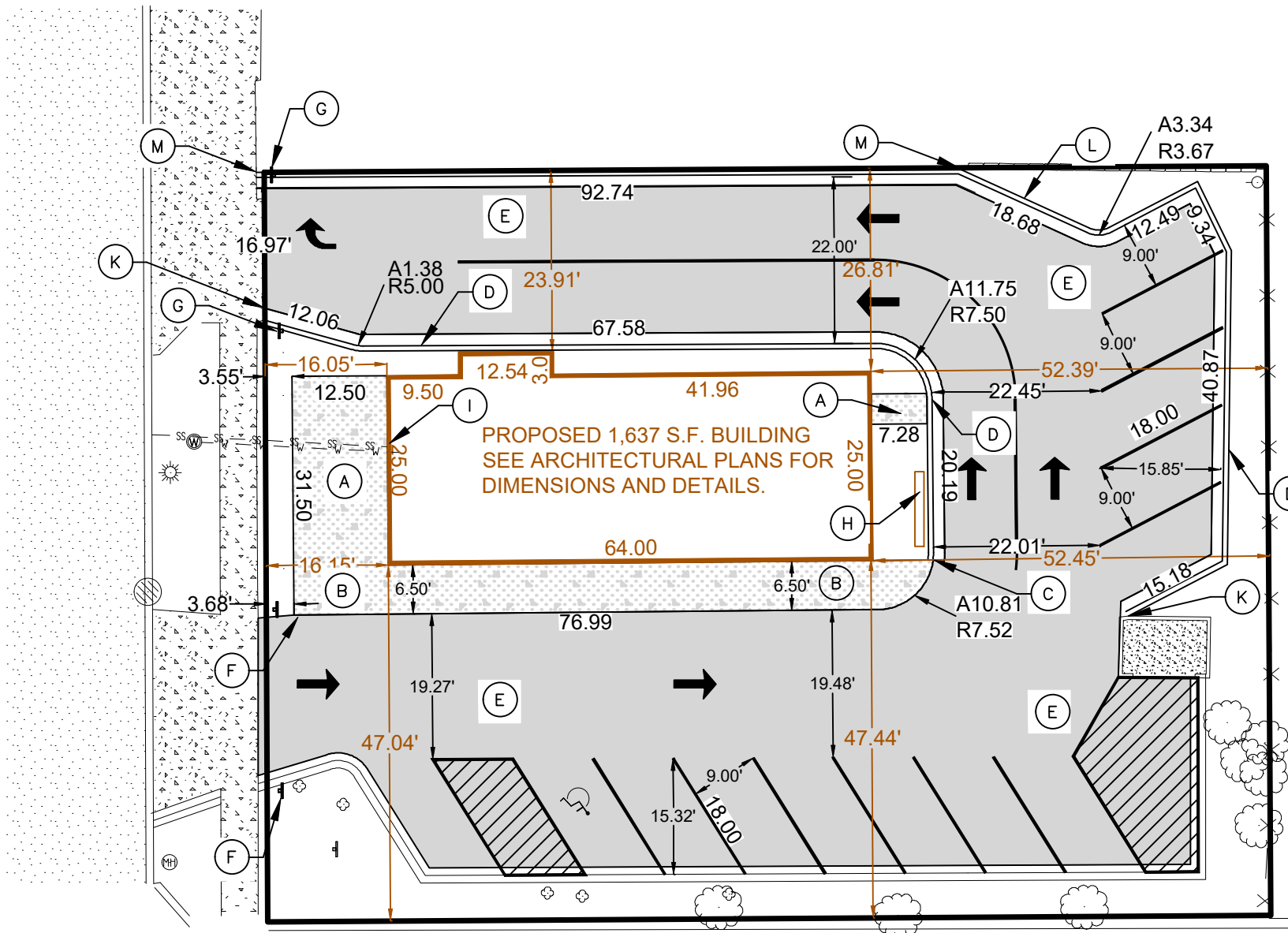
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KEYNOTES:

- (A) PROPOSED PATIO - SEE SECTION ON SHEET 13.
- (B) THICKENED EDGE SIDEWALK - SEE DETAIL ON SHEET 13.
- (C) TRANSITION FROM B618 REJECT CURB AND GUTTER TO THICKENED EDGE
- (D) PROPOSED B618 REJECT CURB AND GUTTER - SEE SECTION ON SHEET 13.
- (E) PROPOSED BITUMINOUS PAVEMENT - SEE SECTION ON SHEET 13.
- (F) PROPOSED NO EXIT SIGN.
- (G) PROPOSED NO ENTRY SIGN.
- (H) PROPOSED ORDER BOARD.
- (I) CONNECT TO EXISTING WATER AND SEWER SERVICE.
- (K) CURB TAPER- SEE SECTION ON SHEET 13.
- (L) PROPOSED 19 L.F. B618 CURB AND GUTTER - SEE SECTION ON SHEET 13.
- (M) PROPOSED 92.74 L.F. B618 CURB AND GUTTER KEYED INTO 8" RETAINING WALL - SEE DETAILS ON SHEET .



SITE PLAN NOTES

ALL RADII AND PAVEMENT LENGTHS ARE TO THE EDGE OF BITUMINOUS , OR FLOW LINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.

STANDARD STALL DIMENSIONS ARE 9' WIDE BY 18' LONG.

ALL STALL SIZES SHALL COMPLY WITH CITY OF HASTINGS CODE 155.09(B)

PAINT STRIPES SHALL BE 4" WIDE PAINTED WHITE.

PROPOSED SURFACES

BITUMINOUS.....	7,875 S.F.
CONCRETE.....	956 S.F.
BUILDING.....	1,637 S.F.
CONCRETE CURB AND GUTTER.....	603 S.F.
TOTAL IMPERVIOUS SURFACES...	11,071 S.F.
TOTAL GREEN SPACE.....	2,039 S.F.
TOTAL LOT AREA.....	13,110 S.F.

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 Surveying & Engineering,

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REVISED	BY	DATE

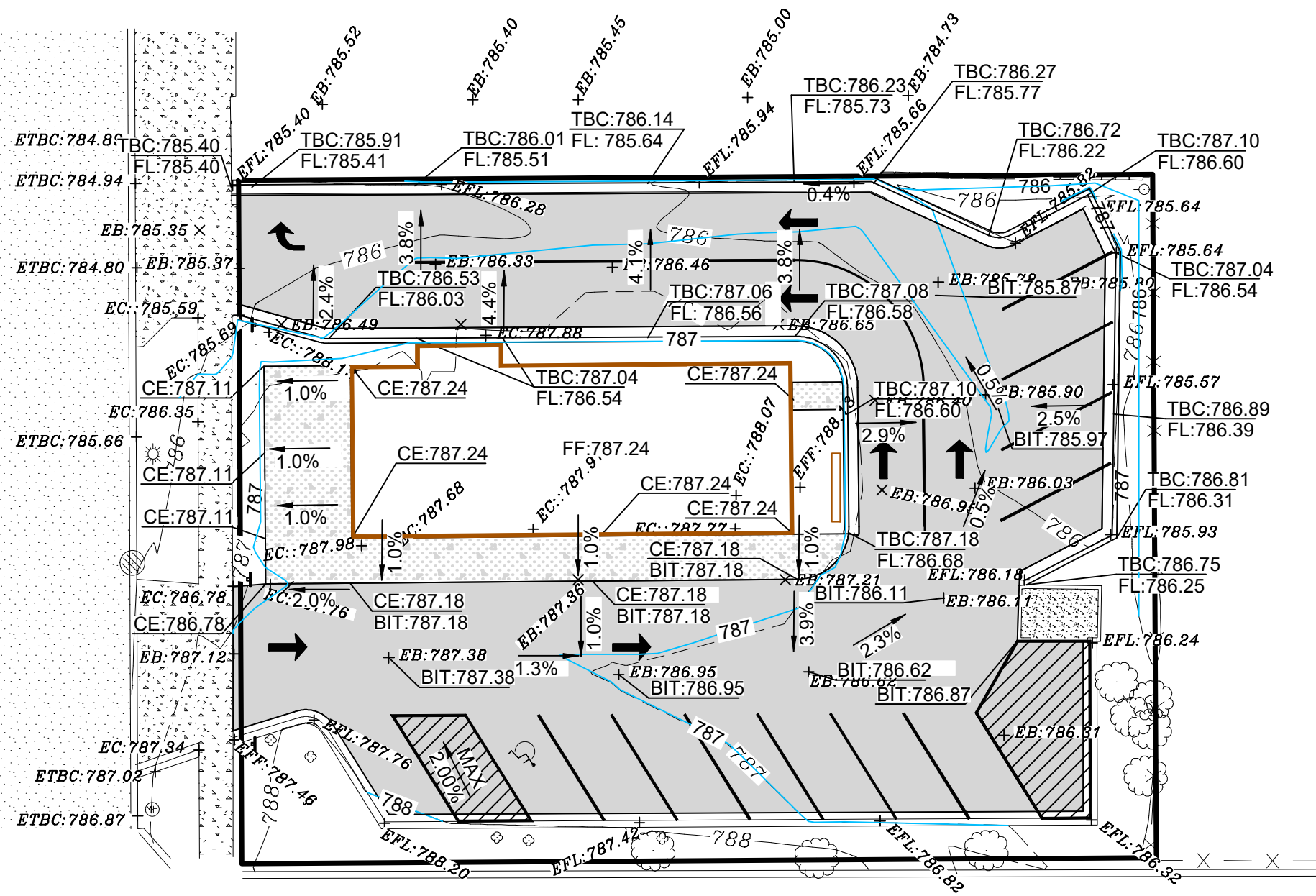
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 Prepared For:
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 PHONE: 651-480-0055

JERSEY MIKE'S

SITE PLAN

HASTINGS, MINNESOTA

SHEET 7 OF 13 SHEETS

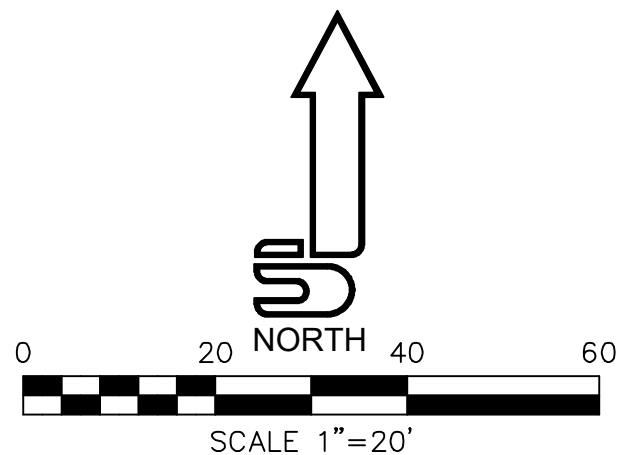


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GOPHER STATE
ONE CALL



TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166



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ph. 651.388.1558 fax 651.388.1559

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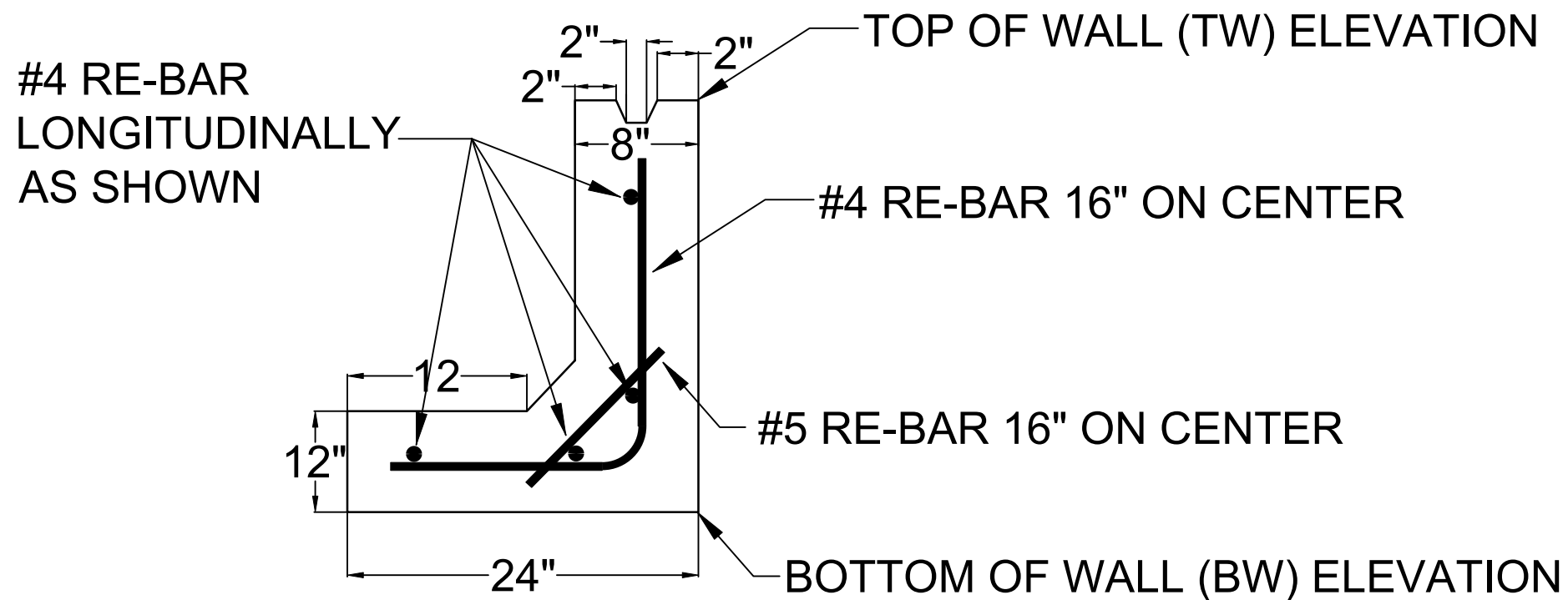
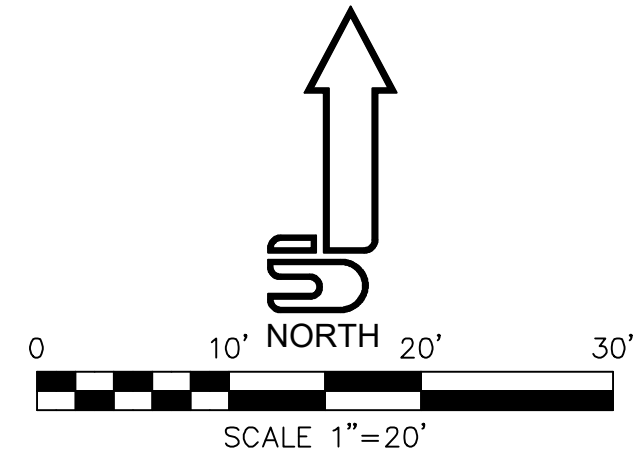
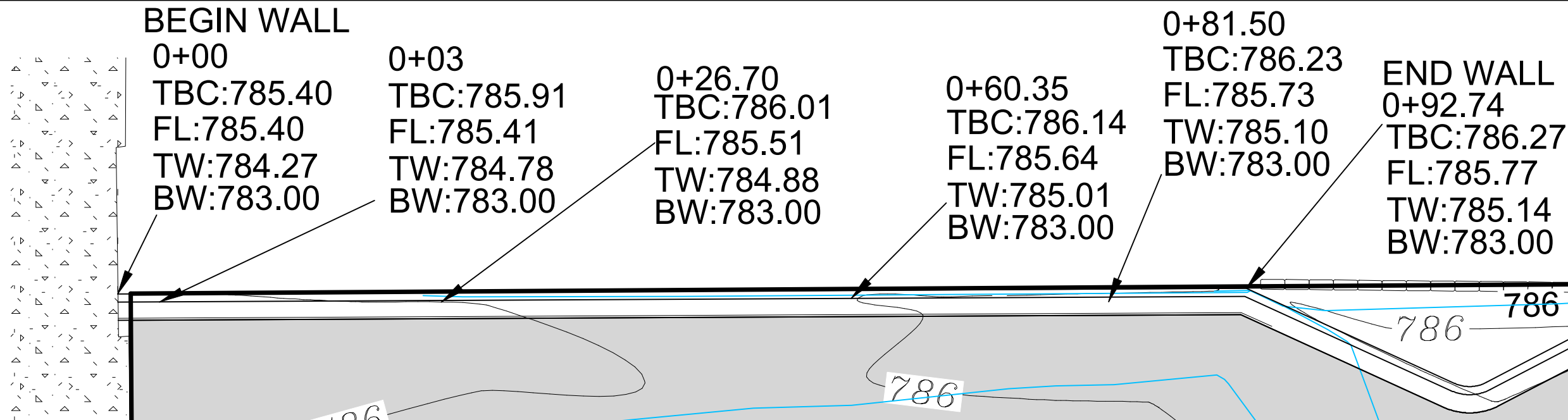
LATEST REVISION: 11/09/2021
Prepared For:
STOTKO SPEEDLING
1303 EDDY STREET, SUITE #2
HASTINGS, MN 55033
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JERSEY MIKE'S

GRADING PLAN

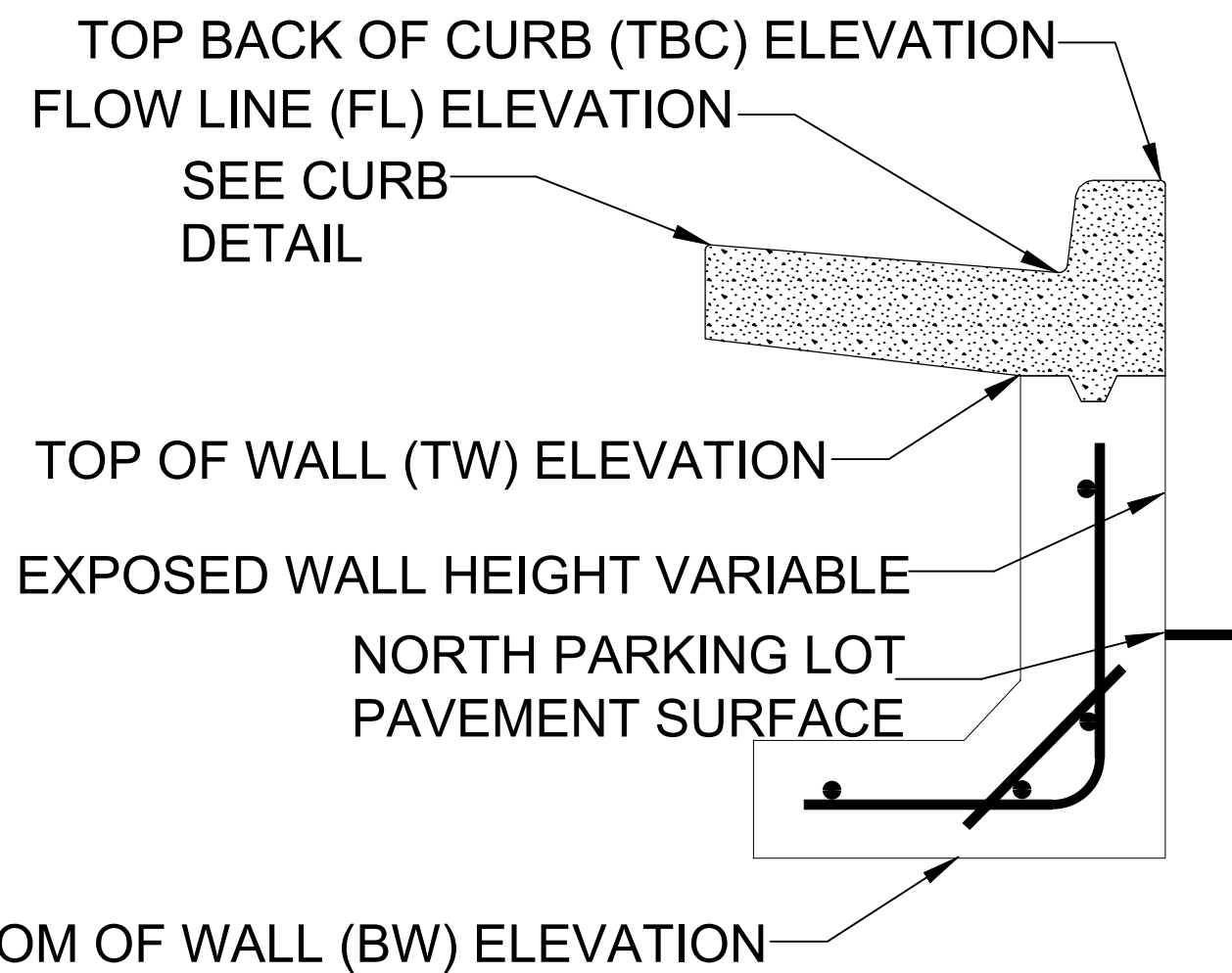
HASTINGS, MINNESOTA

SHEET 8 OF 13 SHEETS

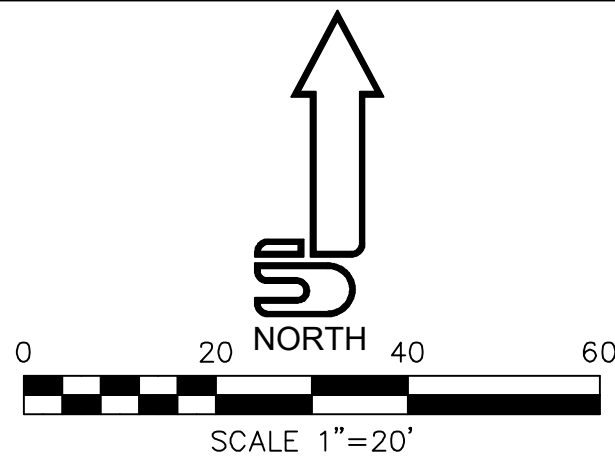
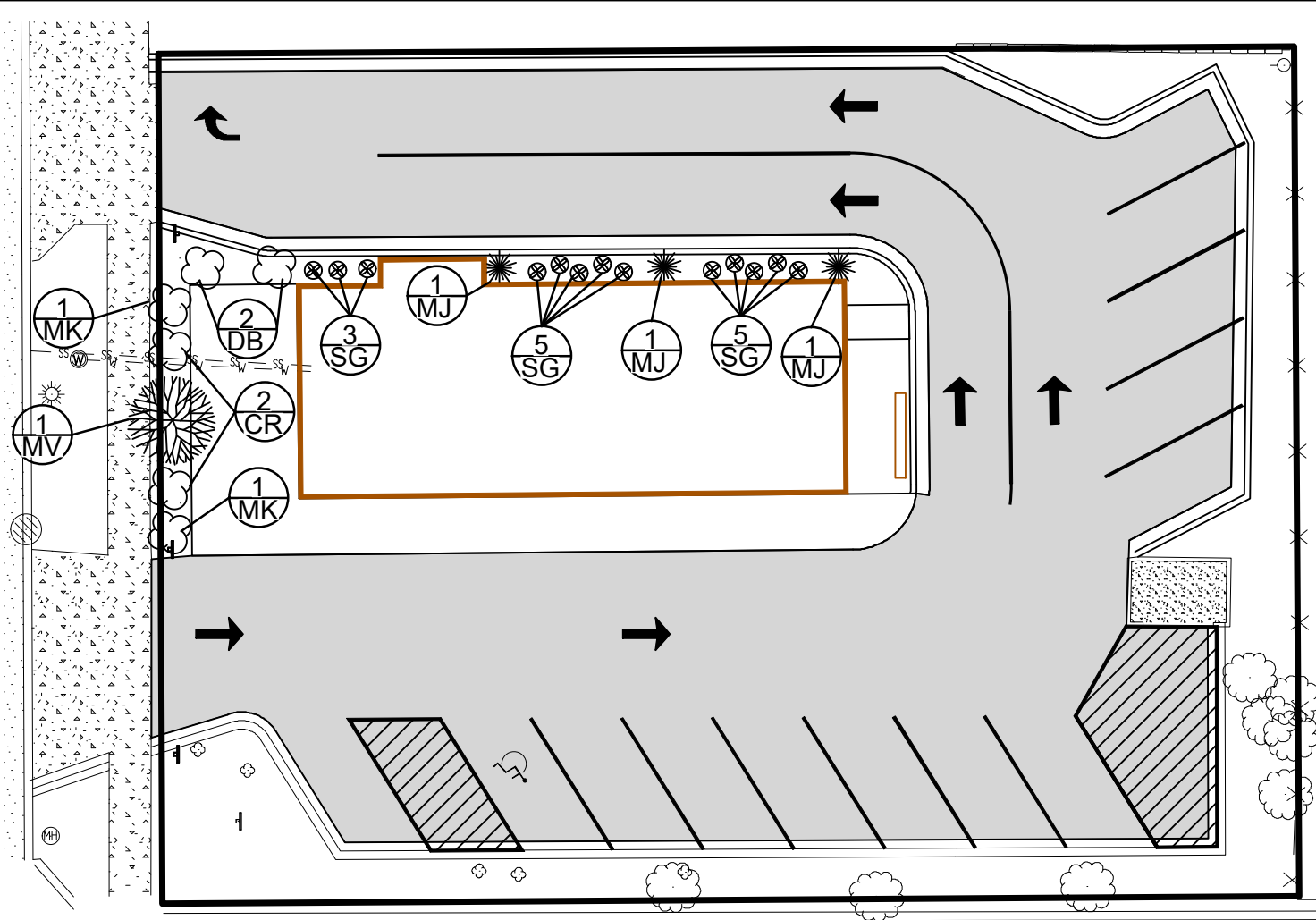


RE-BAR SHALL HAVE A MINIMUM CONCRETE COVER OF 2".
 KEY SHALL BE A MINIMUM OF 3" DEEP.

RETAINING WALL SECTION



CURB KEYED INTO WALL



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VELVET PILLAR CRABAPPLE



CARDINAL DOGWOOD



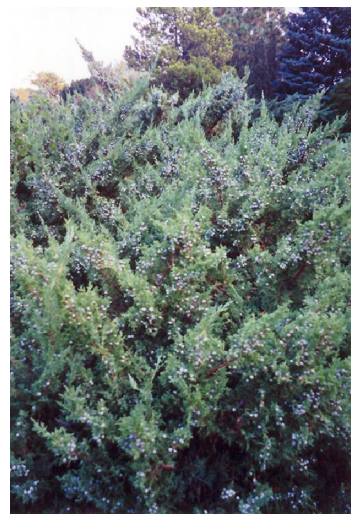
LITTLE MISS KIM LILAC

TREE SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
1	MV	Malus 'Velvetcole'	Velvet Pillar Crabapple	MIN. 1 1/2" caliper

SHRUB AND PERENNIAL SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
2	CR	Cornus sericea 'Cardinal'	Cardinal Dogwood	#5
3	SG	Spiraea 'Goldmound'	Goldmound Spiraea	#1
10	SH	Stella d' oro Heremerocallis	Daylily - assorted variety	#1
3	MJ	Juniperus chinensis 'Maney'	Many Juniper	#1
2	MK	Syringa patula 'Miss Kim'	Little Miss Kim Dwarf Lilac	#1
2	DB	Diervilla lonicera	Dwarf Bush Honeysuckle	#1



MANEY JUNIPER



DWARF BUSH HONEYSUCKLE

NOTES:
SCARIFY BOTTOM AND SIDES OF THE HOLE.

SET PLANT ON UNDISTURBED NATIVE SOIL, OR COMPACTED BACKFILL SOIL.

INSTALL PLANT SO THAT THE ROOT FLARE IS AT OR UP TO 2" ABOVE FINISHED GRADE.

BACKFILL TO ±12" OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BURLAP FROM THE ROOTBALL.

PLUMB AND BACKFILL WITH BACKFILL SOIL.

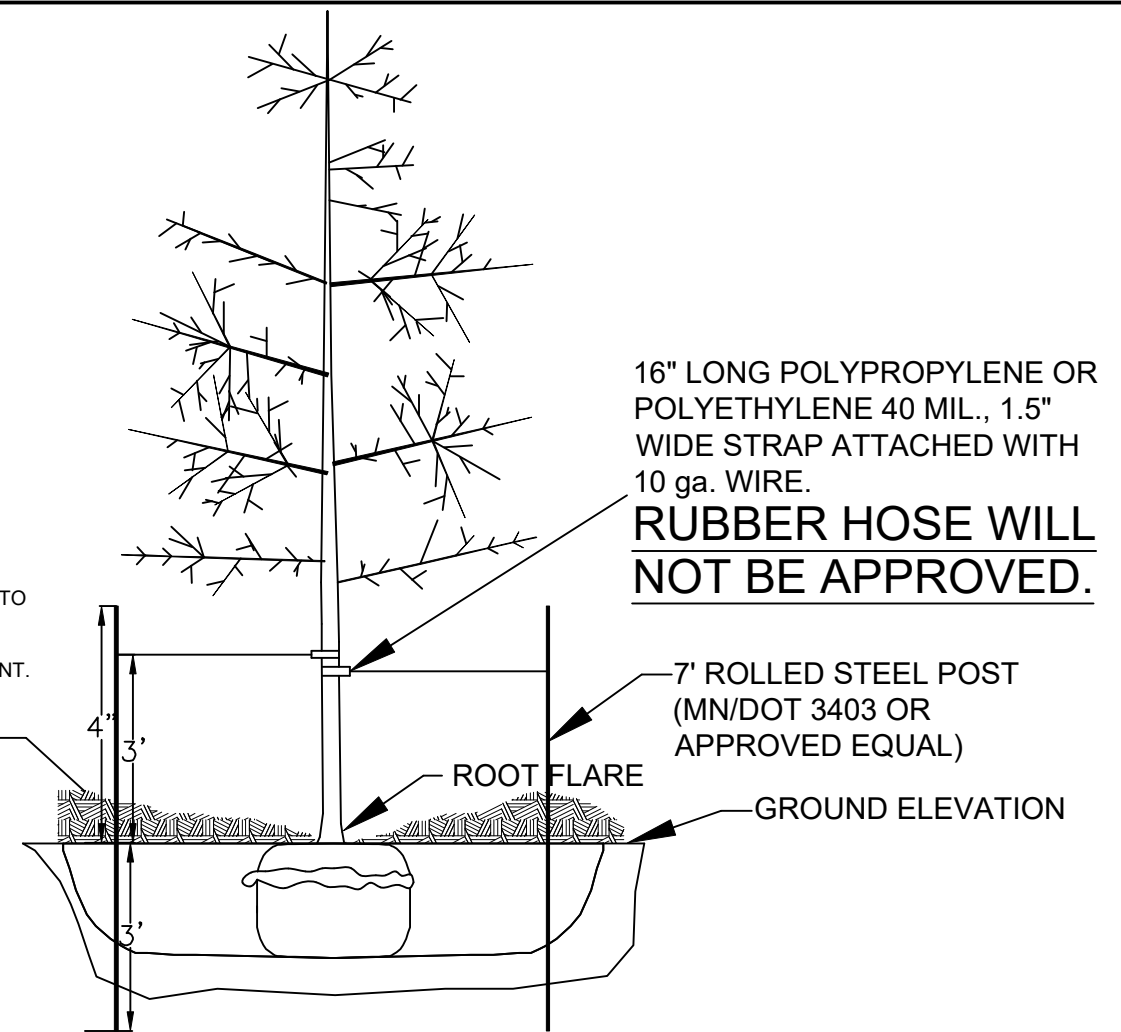
WATER TO FILL VOIDS AND SETTLE PLANT.

WATER THOROUGHLY WITHIN 2 HOURS OF PLANTING.

PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

ONLY TREES THAT CANNOT MAINTAIN A PLUMB CONDITION WILL BE REQUIRED TO BE STAKED.

REMOVE STAKES AFTER PEP HAS ENDED.



NOT TO SCALE

BALLED AND BURLAPPED TREE PLANTING AND STAKING DETAIL

KEY NOTES:
SCARIFY BOTTOM AND SIDES OF THE HOLE.

REMOVE CONTAINER AND SCORE OUTSIDE WALL OF SOIL MASS.

SET PLANT ON UNDISTURBED NATIVE SOIL, OR COMPACTED BACKFILL SOIL. INSTALL PLANT SO THAT THE ROOT FLARE IS AT OR UP TO 2" ABOVE FINISHED GRADE.

BACKFILL TO ±12" OF THE ROOT BALL, THEN WATER PLANT.

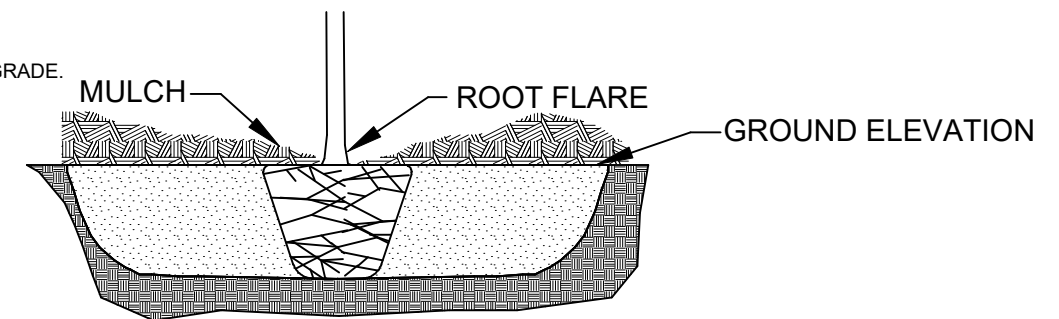
REMOVE THE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL.

PLUMB AND BACKFILL WITH BACKFILL SOIL.

WATER TO FILL VOIDS AND SETTLE PLANT.

WATER THOROUGHLY WITHIN 2 HOURS OF PLANTING.

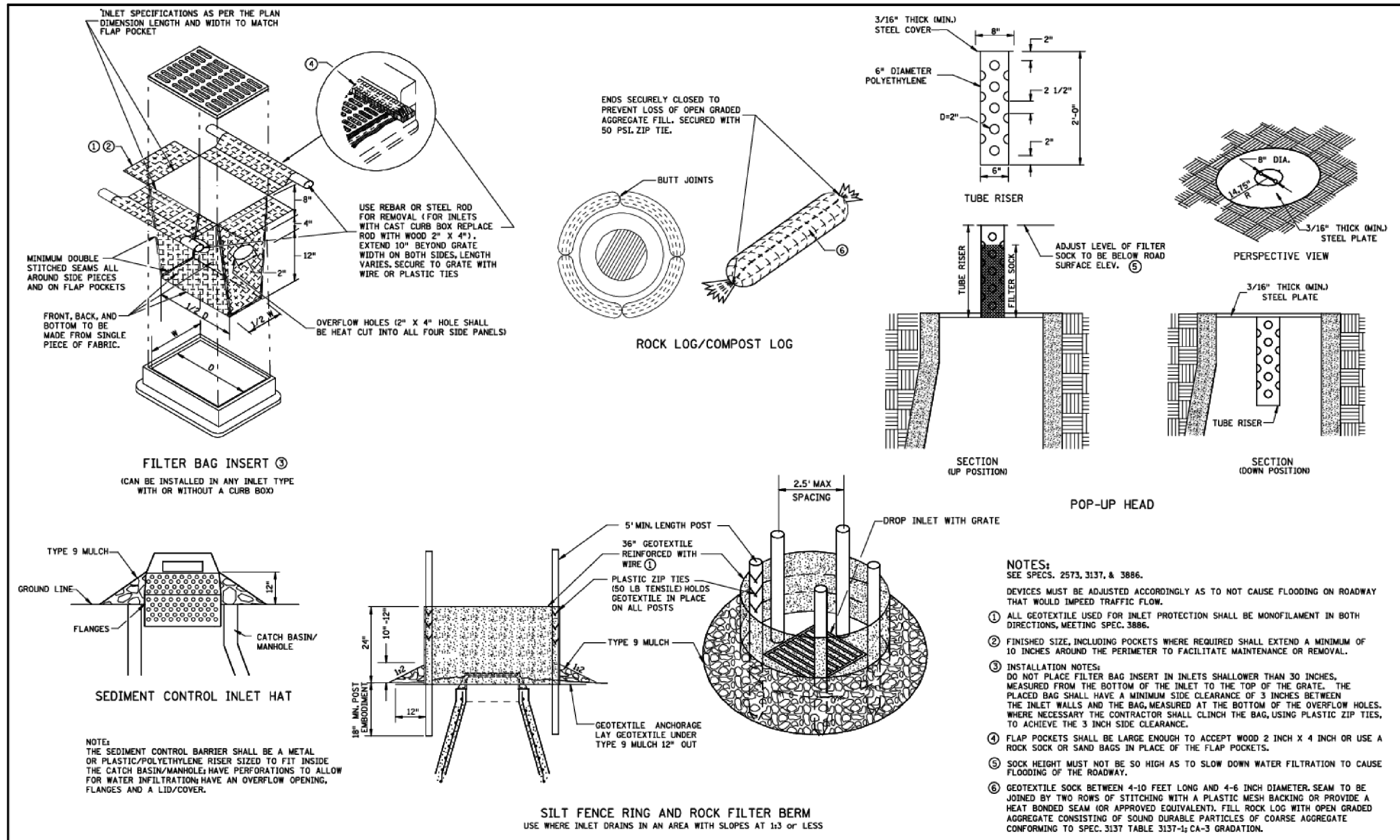
PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.



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CONTAINER STOCK PLANTING DETAIL

DESIGNED	REVISION	BY	DATE	LATEST REVISION: 11/09/2021
SPD				Prepared For:
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CHECKED				1303 EDDY STREET, SUITE #2
				HASTINGS, MN 55033
				PHONE: 651-480-0055



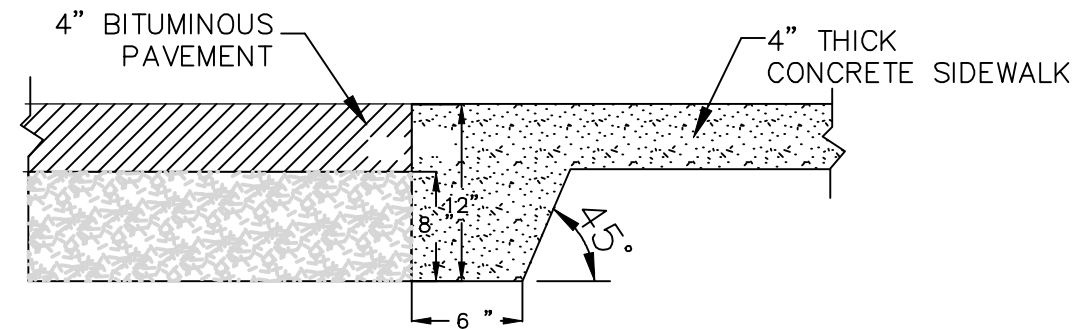
REVISION:
 APPROVED: 8-6-2014
 [Signature]
 CHIEF ENVIRONMENTAL OFFICER

REVISOR:
 [Signature]
 STATE DESIGN ENGINEER
 APPROVED: 8-6-2014

TEMPORARY SEDIMENT CONTROL
 STORM DRAIN INLET PROTECTION
 STANDARD PLAN 5-297.405 4 OF 7

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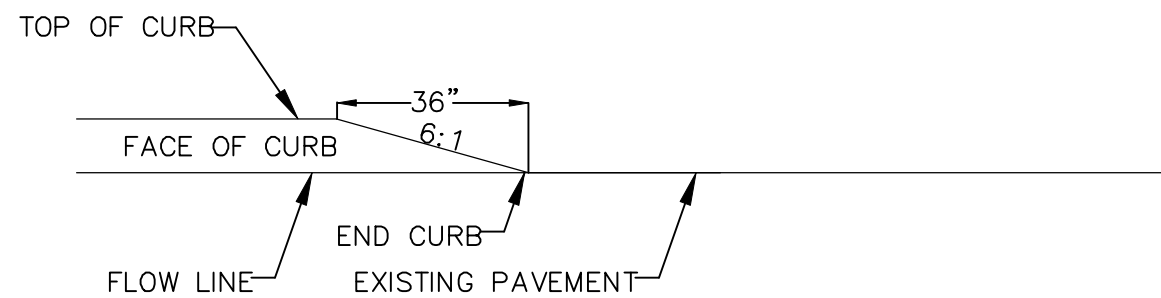
DESIGNED	SPD				DATE: 11/09/2011
DRAWN	SPD				Prepared For:
CHECKED	SPV				STOTKO SPEEDLING
					1303 EDDY STREET, SUITE #2
					HASTINGS, MN 55033
					PHONE: 651-480-0055



THICKENED EDGE SIDEWALK SHALL BE INSTALLED ANYWHERE SIDEWALK ABUTS PAVED AREAS. EXPANSION JOINT IS REQUIRED IF SIDEWALK ABUTS CONCRETE PAVEMENT.

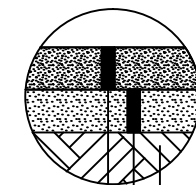
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THICKENED EDGE SIDEWALK



NOT TO SCALE

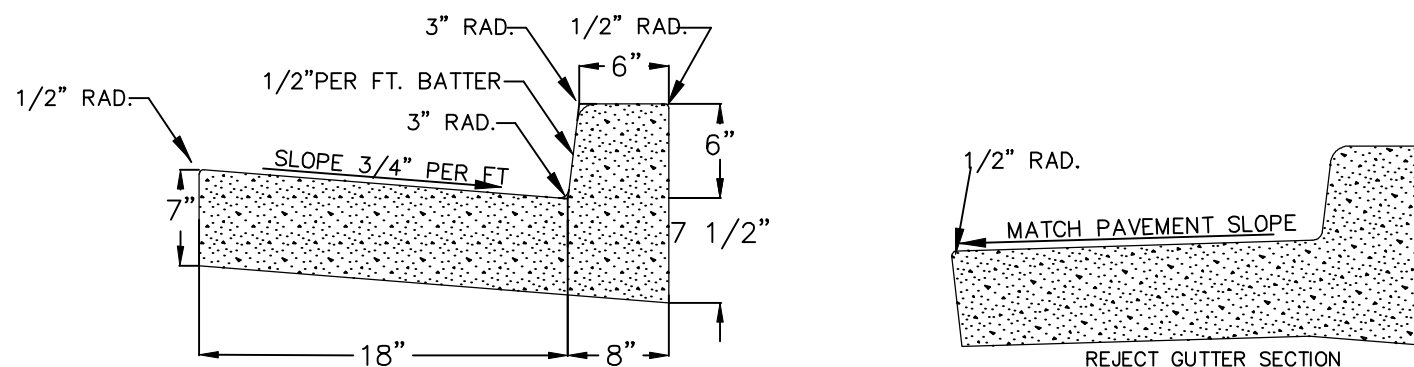
TYPICAL CURB TAPER



- COMPACTED SUB GRADE
- CONST. 6" CLEAN SAND
- CONST. 4" NON-REINFORCED CONCRETE PAVEMENT
- CONCRETE MIX 3A31

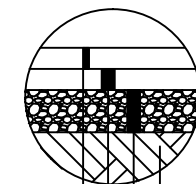
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CONCRETE PATIO AND SIDEWALK SECTION



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B618 CURB AND GUTTER



- COMPACTED SUBGRADE
- CONST. 8" CL 5 AGG. BASE
- CONST. 2" BIT. BASE COURSE - SPNWB330B (MNDOT SPEC. 2360.501)
- CONST. 2" BIT. WEAR COURSE - SPWEB340B (MNDOT SPEC. 2360.501)

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BITUMINOUS PARKING SECTION

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JERSEY MIKE'S

DETAILS

HASTINGS, MINNESOTA

SHEET 13 OF 13 SHEETS