

Planning Commission Memorandum

To: Planning Commissioners
From: Justin Fortney, City Planner

Date: June 13, 2022

Item: Site Plan - KFC Restaurant 2022-39 - 1726 Vermillion Street

Planning Commission Action Requested

Review the proposal to construct a KFC restaurant and make a recommendation to the City Council.

Background Information

The location is on the former Freedom gas station site at 18th St E and Vermilion St. The gas station, awning, and tanks, have all been removed.

Comprehensive Plan

The property is guided Commercial within the 2040 Comprehensive Plan.

Zoning

The property is zoned C-3 – Community Regional Commerce. Allowable uses include restaurants, retail sales and services, etc.

Existing Condition

The existing site has been demolished except for the concrete parking lot. The fuel tanks have been removed.

Adjacent Zoning and Land Use

The following land uses abut the property:

Direction	Use	Comp Plan District	Zoning District
North	Dairy store/dairy offices	Commercial	C-3 Commercial
East	Dairy trailer parking (61)	Commercial	C-3 Commercial
South	Leased office/commercial	Commercial	C-3 Commercial
West	Single-family homes	Residential – Med. Dens.	R-2 Medium Density

Site Plan Review

Vehicular Access and Circulation

The proposal includes a driveway onto 18th Street, a right-in / right-out onto Vermillion Street, and maintains existing cross access to the north. The site has a long drive-thru cue lane. The cue drive is 15-feet wide.

Building Setbacks

There are no prescribed minimum setbacks within the zoning district, however, proposed setbacks are reviewed durring site plan review for conformaty with the area. Building setbacks are existing and have been adiquate. The previous convenience store was 16-feet from the western property line. The proposed western elevation will include a menu board, cue lane, and pick up window. The applicants propose to buffer the activity from the residential lots with a proposed building setback of 27.8-feet from the western property line, a 12.3-foot wide landscape buffer with trees and an 8-foot tall vinyl fence.

Required Parking

Parking meets minimum requirements as follows:

		Parking		
Required Parking	Seats	Requirement	Needed	Proposed
Restaurant	24	1 per 3 seats	8	11

Architectural Design

The applicant is proposing façades with ample amount of glass, brick, and fiber cement siding, which all easely meet the minnimum requirnments of class one and two materials.

Landscape Plan

The proposed landscaping meets the requirements based on the following. The required number of trees and shrubs are provided based on the lot perimeter and amount of pavement/ concrete coverage. An evergreen hedge is proposed to buffer the parking lot. An eight-foot-tall vinyl fence is proposed in the west 12.3-foot wide landscape strip to further buffer the residential lots.

Lighting Plan

The lighting plan shows light levels at the property lines below the maximum allowable limits. Along the western property line only .5 footcandles are allowed due to the adjacent residencial zoning. The proposed lighting levels vary from .4 to .1 footcandles in that location.

Grading, Drainage, Erosion Control and Utility Plan Review

The drainange, grading and errosion control plan is being reviewed by the City Engineering Department for compliance.

Comments

Staff received the following comments.

Good morning John, we are very concerned with several issues surrounding a KFC being developed on the 18th street and vermilion corner.

first and foremost the space surrounding the property and traffic in and out of the property, and down 18th street with children and pets safety being of paramount importance.

Second, the constant litter of bones and greasy paper being strewn about up and down 18th, creating health hazards for our pets and children.

Third, the 18 hour smell of fried chicken consuming our air quality in all adjacent properties, would be enough for us to move and degrade our property values.

I know that it would be incumbent on us to sell to the lowest possible bidders if such an establishment were to be built.

Some of us on 18th and surrounding blocks will be laser focused on stopping this from going forward.

Thank you for your time.
Tim Bader and Marci Jorgensen

122 18th Street

Recommendation

Approval of the Site Plan is recommended subject to the following conditions:

- 1. Conformance with the plans submitted with the Planning Commission Staff Report dated June 13, 2022
- 2. All disturbed areas on the property shall be protected to eliminate erosion control problems.
- 3. Approval of a building permit.
- 4. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.
- 5. The City Engineering Department must approve the utility, grading, drainage, and erosion control plan.
- 6. City and state right-of-way permits are needed for the proposed entrances.
- 7. Incorporate final requirements from MNDot's review.
- 8. A utility abandonment agreement is required with the city for all unused utility stubs adjacent to the property.

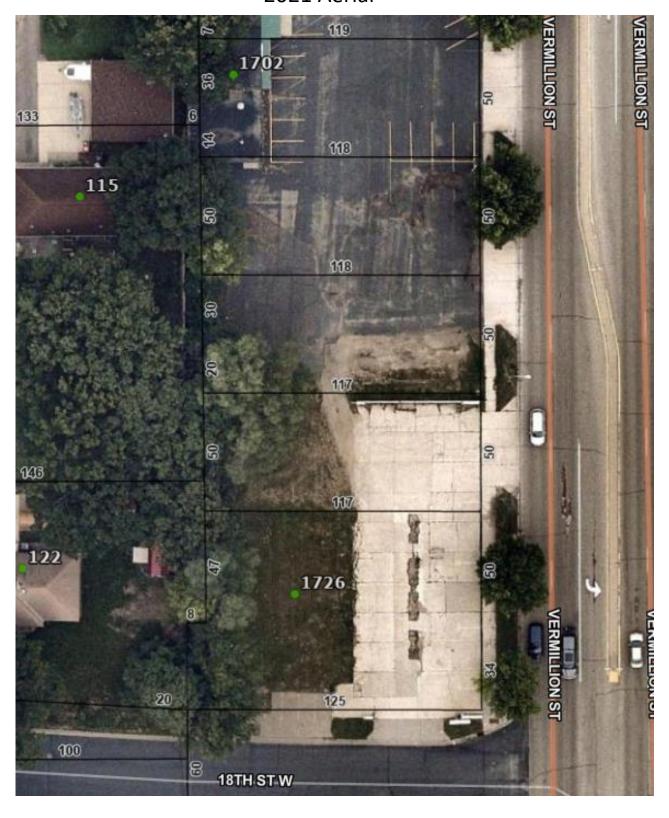
ATTACHMENTS

- Site Location Map
- Site Picture
- Architectural Elevations
- Site Plans

2011 Aerial



2021 Aerial



Site Photos

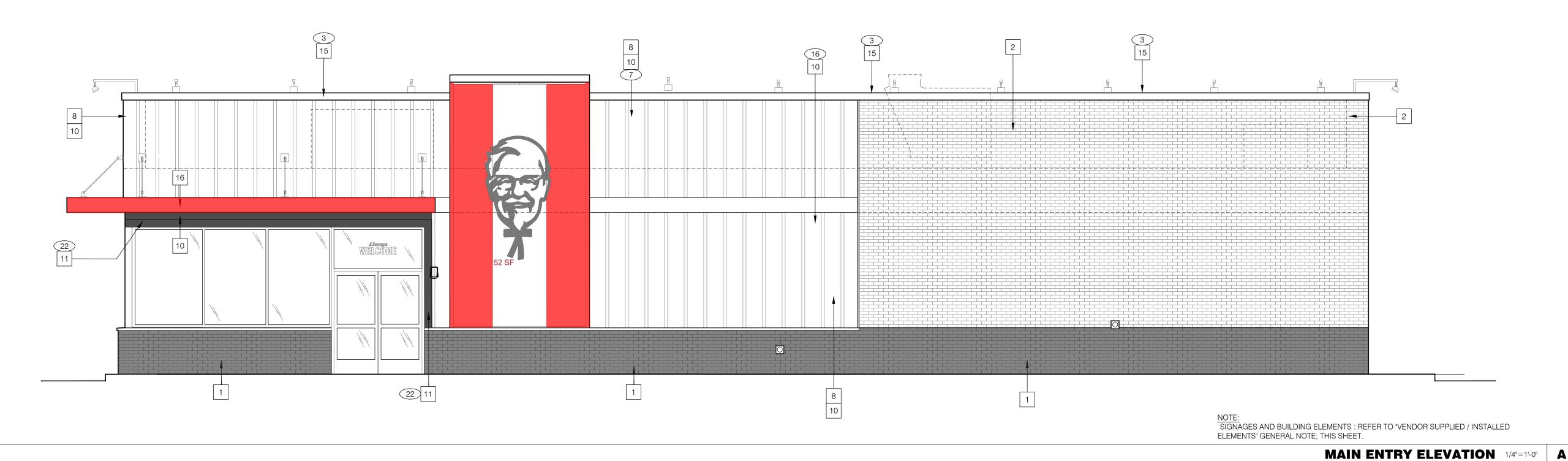


Materials and Elevations



NEXT GEN EXTERIOR MATERIALS

SIGNAGE CALCULATIONS - MAIN ENTF	RANCE FACADE
FACADE 1,592 SQ. FT. / 5% =	79 SF
TOTAL SIGNAGE SQUARE FOOTAGE	52 SF



SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES
BRICK		I		
1 br-1	BLACK EXTERIOR BRICK @ BULDING BASE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK C216 BLACK DIAMOND VELOUR STANDARD RUNNING BOND	ALTERNATE: MODULAR FACE BRICK C216 DOWNING BLACK VELOUR STANDARD RUNNING BOND
2 br-2	WHITE EXTERIOR BRICK @ BUILDING FACADE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK ALASKA WHITE VELOUR STANDARD RUNNING BOND	
METAL		,		
5 m-1	RED METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10	
6 m-2	WHITE METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70	
SPECIAL FI	VISH			
8 sf-1	FIBER CEMENT SIDING AT WALLS	JAMES HARDIE	BOARD AND BATTEN STYLE WHERE SHOWN (PAINTED) REFER TO EXTERIOR ELEVATIONS.	www.jameshardie.com HARDIE PANEL VERTICAL SIDING - SMOOTH
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9 p-1	RED EXTERIOR PAINT	TBD	TO MATCH BENJAMIN MOORE p-1 EXOTIC RED 2086-10	
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EXTERIOR FINISH SCHEDULE

TAG	QTY	ITEM DESCRIPTION	ELE			
B1c	1	STRIPED BANNER PANELS -SIGNAGE BY VENDOR	YES			
B3e	1	DT CANOPY (TRED) -SIGNAGE VENDOR	YES			
B9a	1	QUICK PICK UP CANOPY (RED - DT SIDE) NO SIGNAGE BY VENDOR	YES			
B9b	1	L-SHAPE FRONT CANOPY (RED) - SIGNAGE BY VENDOR	YES			
S3a	1	KFC LETTERS (RED) - 30" Primary Trademark	YE			
S21b	1	COLONEL FACE @ BANNER PANELS	NC			
S26	-	ORIGINAL RECIPE FEATURE	NC			
S27a	-	ONLINE ORDER PICKUP -canopy face vinyl	NC			
S27c	-	ONLINE PICKUP ARROW EMBLEM - Wall @ pick up entry	NC			
S28	-	11 HERBS & SPICES -stencil (CUSTOM SIZE)	NC			
S29	-	MADE FRESH EVERY DAY- stencil (CUSTOM SIZE)	NC			
S30	-	KENTUCKY FRIED CHICKEN LETTERS	YES			
S31a	-	ALL MY CHICKEN POSTER (W/FRAME)	NC			
S31b	-	ORDER AHEAD POSTER (W/FRAME)	NC			
S31c	-	FAST EASY PICK UP POSTER (W/FRAME)	NC			
S31d	-	BEST INVENTION POSTER (W/FRAME)	NC			
S31d - BEST INVENTION POSTER (W/FRAME) NO						
* F	REFEF	R TO GRAPHICS PACKAGE FOR MORE INFORMATION				

MISCELLANEOUS:

- A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
- B. REFER TO SHEET A7.1 FOR EXTERIOR GRAPHICS IMAGE COMPONENTS SCHEDULE; REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

SEALERS (REFER TO SPECS):

- A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES

1 PAINT WALL SURFACE BEHIND AWNING

- 2 DRIVE-THRU WINDOW. SEE SHEET A2.1
- 3 PARAPET FASCIA CAP (COLOR: BLACK)
- METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (CLEAR ANODIZED ALUMINUM)
- 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 6 WALL LIGHTING LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 HARDI-PANEL SIDING
- 8 HOSE BIB REFER TO PLUMBING DRAWINGS.
- 9 CO2 FILLER VALVE & COVER.
- 10 SCUPPER, COLLECTOR AND DOWNSPOUT 6" MIN.
- 11 SWITCHGEAR.
- 12 INDICATES TOP OF ROOF DECK.
- 13 OVERFLOW SCUPPER
- GAS METER. DO NOT PAINT METER.
- COORDINATE LOCATION OF GRAPHIC WITH FINAL ELECTRIC PANEL/GAS METER LOCATION. ADJUST HEIGHT OF LETTERS AS REQUIRED.
- 16 TRIM BOARD. REFER TO WALL SECTIONS.
- 17 VENDOR PROVIDED CANOPY
- 18 LINE OF COLOR CHANGE
- 19 NOT USED
- 20 HARDIE PANEL WITH NO BATTENS THIS AREA.
- 21 LINE OF BRICK SPEC. COLOR CHANGE.
- 22 6" WIDE PAINTED BAND.
- 23 EMERGENCY LIGHTS, SEE ELECTRICAL SHEETS
- HARDIE TRIM 2.5" WIDTH, PAINTED TO MATCH ADJACENT SURFACES.
- 25 STAINLESS STEEL CORNER GUARDS.
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- 28 EXTERIOR FINISH DIMENSION; TYPICAL.
- 29 ROOFTOP EQUIPMENT SHOWN DASHED FOR REFERENCE.
- 30 LINEAR DOWNLIGHT FIXTURE.
- BRICK SCREEN WALL BETWEEN BUILDING AND DUMPSTER ENCLOSURE. SEE CIVIL DOCUMENTS.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES B**

KFC

1726 VERMILLION ST.
HASTINGS, MN 55033

3.01.22

5.16.22

NG-30

315516

457604

21.1

brand studios

BASE brand studios A DIVISION OF JEFFERSON_ARCHITECTURE 150 HUDDLESTON ROAD, STE 900 PEACHTREE CITY, GA 30269 770-632-9545

ARCHITECT OF RECORD:

architecture + interiors 5504 MERRITT CIR EDINA, MN 55436 TEL 612-743-6225 thuftedal.com

ARCHITECT'S STAMP

Ryan B. Thuftedal, AIA
Sigature
License #44757

report was prepared by me or under my supervision and that I am a duly Licenced

PLAN SET REVISIONS:

ISSUE DATES:

KFC DAP

ZONING

BUILDING

BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

ENTITY NUMBER:

STORE NUMBER:

Thuftedal Architects

EXTERIOR ELEVATION

A4.(

PLOT DATE:

DATE: 15

SIGNAGE CALCULATIONS - DRIVE-THRU FACADE 79 SF FACADE 1,592 SQ. FT. / 5% = 0 SF TOTAL SIGNAGE SQUARE FOOTAGE

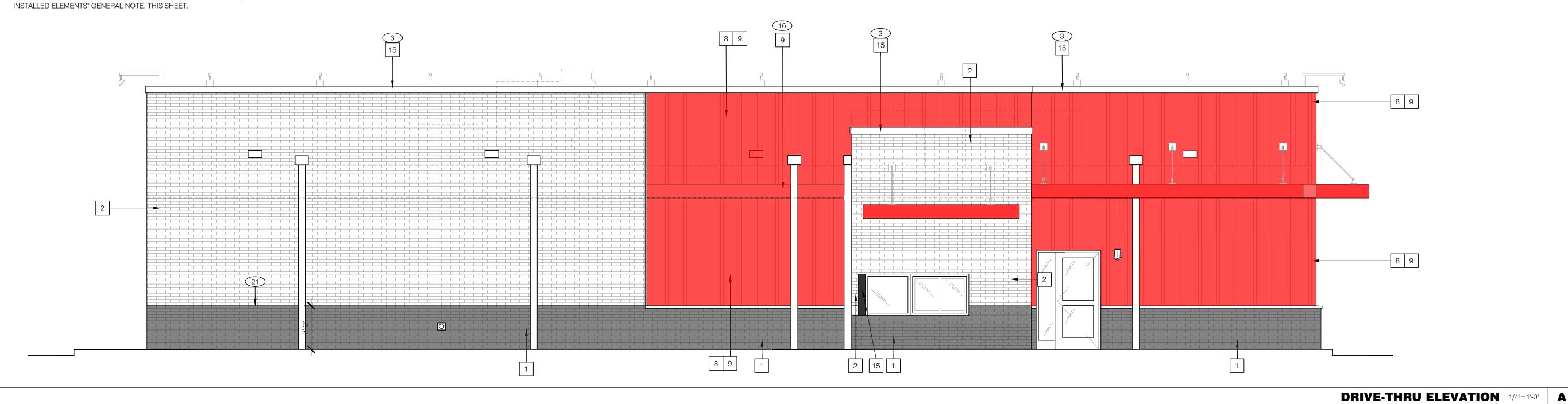


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NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES B**

EXTERIOR ELEVATIONS

brand studios

BRAND ARCHITECTURAL DESIGNER:

BASE brand studios
A DIVISION OF JEFFERSON ARCHITECTURE
150 HUDDLESTON ROAD, STE 900
PEACHTREE CITY, GA 30269
770-632-9545

ARCHITECT OF RECORD:

architecture + interiors

ARCHITECT'S STAMP I hearby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licenced Architect under the laws of the State of

Minnesota.
Ryan B. Thuftedal, AIA
Sigature
License #44757

PLAN SET REVISIONS:

ISSUE DATES:

KFC DAP

ZONING

BUILDING

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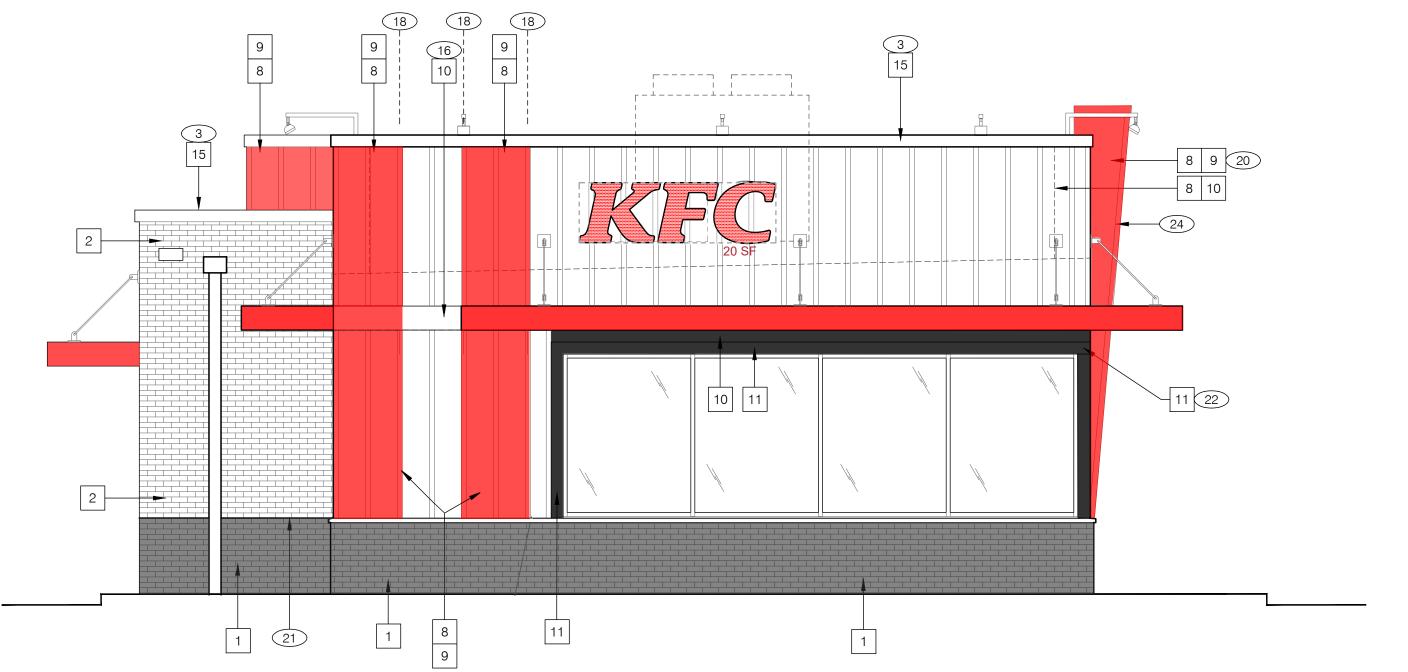
315516

457604

5504 MERRITT CIR EDINA, MN 55436 TEL 612-743-6225 thuftedal.com

Thuftedal **Architects**

SIGNAGE CALCULATIONS - FRONT FACADE					
FACADE 713 SQ. FT. / 5% = 35 SF					
TOTAL SIGNAGE SQUARE FOOTAGE 20 SF					



NOTE: SIGNAGE AND BUILDING ELEMENTS: REFER TO "VENDOR SUPPLIED / INSTALLED ELEMENTS" GENERAL NOTE; THIS SHEET.

FRONT ELEVATION 1/4"=1'-0" A

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- COORDINATE LOCATION OF GRAPHIC WITH FINAL ELECTRIC PANEL/GAS METER LOCATION. ADJUST HEIGHT OF LETTERS AS REQUIRED.
- 16 TRIM BOARD. REFER TO WALL SECTIONS.
- VENDOR PROVIDED CANOPY
- LINE OF COLOR CHANGE
- 19 NOT USED
- 20 HARDIE PANEL WITH NO BATTENS THIS AREA.
- 21 LINE OF BRICK SPEC. COLOR CHANGE.
- 22 6" WIDE PAINTED BAND.
- EMERGENCY LIGHTS, SEE ELECTRICAL SHEETS
- HARDIE TRIM 2.5" WIDTH, PAINTED TO MATCH ADJACENT SURFACES.
- STAINLESS STEEL CORNER GUARDS.
- HANDICAP SIGNAGE; MOUNT AT 5'-0" A.F.F.
- SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
- 28 EXTERIOR FINISH DIMENSION; TYPICAL.
- ROOFTOP EQUIPMENT SHOWN DASHED FOR REFERENCE.
- LINEAR DOWNLIGHT FIXTURE.
- BRICK SCREEN WALL BETWEEN BUILDING AND DUMPSTER ENCLOSURE SEE CIVIL DOCUMENTS.



brand studios

BRAND ARCHITECTURAL DESIGNER: BASE brand studios A DIVISION OF JEFFERSON_ARCHITECTURE 150 HUDDLESTON ROAD, STE 900 PEACHTREE CITY, GA 30269 770-632-9545

ARCHITECT OF RECORD:

Thuftedal **Architects** architecture + interiors

5504 MERRITT CIR EDINA, MN 55436 TEL 612-743-6225 thuftedal.com

ARCHITECT'S STAMP I hearby certify that this plan, specification, o supervision and that I am a duly Licenced Architect under the laws of the State of Ryan B. Thuftedal, AIA Ryan F. Human Sigature
License #44757

PLAN SET REVISIONS:

ISSUE DATES: 2.24.22 KFC DAP 3.01.22 ZONING 5.16.22 BUILDING BIDS

BUILDING TYPE: NG-30 PLAN VERSION: 21.1 SITE NUMBER: 315516 ENTITY NUMBER: 457604 STORE NUMBER:

> KFC 1726 VERMILLION ST.

HASTINGS, MN 55033



EXTERIOR ELEVATION

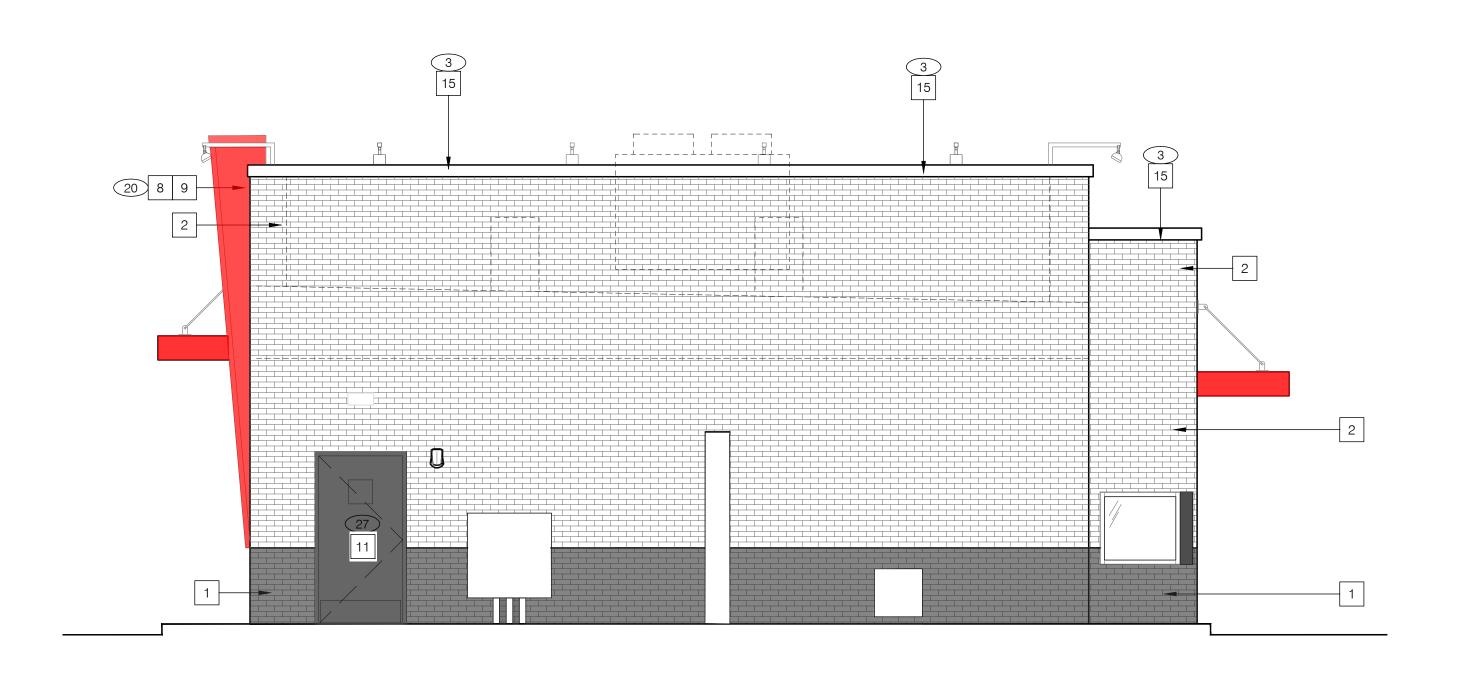
EXTERIOR FINISH SCHEDULE

IMAGE COMPONETS D

GENERAL NOTES

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES B**

SIGNAGE CALCULATIONS - REAR FACADE				
FACADE 668 SQ. FT. / 5% =	33 SF			
TOTAL SIGNAGE SQUARE FOOTAGE	0 SF			



SIGNAGE AND BUILDING ELEMENTS: REFER TO "VENDOR SUPPLIED / INSTALLED ELEMENTS" GENERAL NOTE; THIS SHEET.

REAR ELEVATION 1/4"=1'-0" A

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES				
BRICK								
1 br-1	BLACK EXTERIOR BRICK @ BULDING BASE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK C216 BLACK DIAMOND VELOUR STANDARD RUNNING BOND	ALTERNATE: MODULAR FACE BRICK C216 DOWNING BLACK VELOUR STANDARD RUNNING BOND				
2 br-2	WHITE EXTERIOR BRICK @ BUILDING FACADE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK ALASKA WHITE VELOUR STANDARD RUNNING BOND					
METAL								
5 m-1	RED METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10					
6 m-2	WHITE METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70					
SPECIAL FIN	IISH							
8 sf-1	FIBER CEMENT SIDING AT WALLS	JAMES HARDIE	BOARD AND BATTEN STYLE WHERE SHOWN (PAINTED) REFER TO EXTERIOR ELEVATIONS.	www.jameshardie.com HARDIE PANEL VERTICAL SIDING - SMOOTH				
PAINT		•						
9 p-1	RED EXTERIOR PAINT	TBD	TO MATCH BENJAMIN MOORE p-1 EXOTIC RED 2086-10					
10 p-2	WHITE EXTERIOR PAINT	TBD	TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70					
11 p-3	BLACK EXTERIOR PAINT	TBD	TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10					
METAL TRIM	1	1						
15	EXTERIOR METAL TRIM (BLACK)		TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10					
16	EXTERIOR METAL TRIM (RED)		TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10					
			1					

EXTERIOR FINISH SCHEDULE

F

IMAGE COMPONENTS SCHEDULE					
SIGNAGE					
TAG	QTY	ITEM DESCRIPTION	ELEC		
B1c	1	STRIPED BANNER PANELS -SIGNAGE BY VENDOR	YES		
ВЗе	1	DT CANOPY (TRED) -SIGNAGE VENDOR	YES		
В9а	1	QUICK PICK UP CANOPY (RED - DT SIDE) NO SIGNAGE BY VENDOR	YES		
B9b	1	L-SHAPE FRONT CANOPY (RED) - SIGNAGE BY VENDOR	YES		
S3a	1	KFC LETTERS (RED) - 30" Primary Trademark	YES		
S21b	1	COLONEL FACE @ BANNER PANELS	NO		
S26	-	ORIGINAL RECIPE FEATURE	NO		
S27a	-	ONLINE ORDER PICKUP -canopy face vinyl	NO		
S27c	-	ONLINE PICKUP ARROW EMBLEM - Wall @ pick up entry	NO		
S28	-	11 HERBS & SPICES -stencil (CUSTOM SIZE)	NO		
S29	-	MADE FRESH EVERY DAY- stencil (CUSTOM SIZE)	NO		
S30	-	KENTUCKY FRIED CHICKEN LETTERS	YES		
S31a	-	ALL MY CHICKEN POSTER (W/FRAME)	NO		
S31b	-	ORDER AHEAD POSTER (W/FRAME)	NO		
S31c	-	FAST EASY PICK UP POSTER (W/FRAME)	NO		
S31d	-	BEST INVENTION POSTER (W/FRAME)	NO		
* F	REFEF	R TO GRAPHICS PACKAGE FOR MORE INFORMATION			

IMAGE COMPONETS D

MISCELLANEOUS:

- A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
- B. REFER TO SHEET A7.1 FOR EXTERIOR GRAPHICS IMAGE COMPONENTS SCHEDULE - IMAGE COMPONENTS SCHEDULE; REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

SEALERS (REFER TO SPECS):

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS. B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES

- 2 DRIVE-THRU WINDOW. SEE SHEET A2.1
- 3 PARAPET FASCIA CAP (COLOR: BLACK)

1 PAINT WALL SURFACE BEHIND AWNING

- METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (CLEAR
- ANODIZED ALUMINUM) 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1
- 6 WALL LIGHTING LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 HARDI-PANEL SIDING
- 8 HOSE BIB REFER TO PLUMBING DRAWINGS.
- 9 CO2 FILLER VALVE & COVER.
- 10 SCUPPER, COLLECTOR AND DOWNSPOUT 6" MIN.
- 11 SWITCHGEAR.
- 12 INDICATES TOP OF ROOF DECK.
- 13 OVERFLOW SCUPPER
- GAS METER. DO NOT PAINT METER.
- COORDINATE LOCATION OF GRAPHIC WITH FINAL ELECTRIC PANEL/GAS METER LOCATION. ADJUST HEIGHT OF LETTERS AS REQUIRED.
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NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES B**

EXTERIOR

ELEVATION

KFC

1726 VERMILLION ST.

HASTINGS, MN 55033

brand studios

BRAND ARCHITECTURAL DESIGNER:

BASE brand studios
A DIVISION OF JEFFERSON_ARCHITECTURE
150 HUDDLESTON ROAD, STE 900
PEACHTREE CITY, GA 30269
770-632-9545

ARCHITECT OF RECORD:

architecture + interiors 5504 MERRITT CIR EDINA, MN 55436 TEL 612-743-6225 thuftedal.com

ARCHITECT'S STAMP I hearby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licenced Architect under the laws of the State of Ryan B. Thuftedal, AIA

Sigature______ License #44757

PLAN SET REVISIONS:

ISSUE DATES:

KFC DAP

ZONING

BUILDING

BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

ENTITY NUMBER:

STORE NUMBER:

BIDS

2.24.22 3.01.22 5.16.22

NG-30

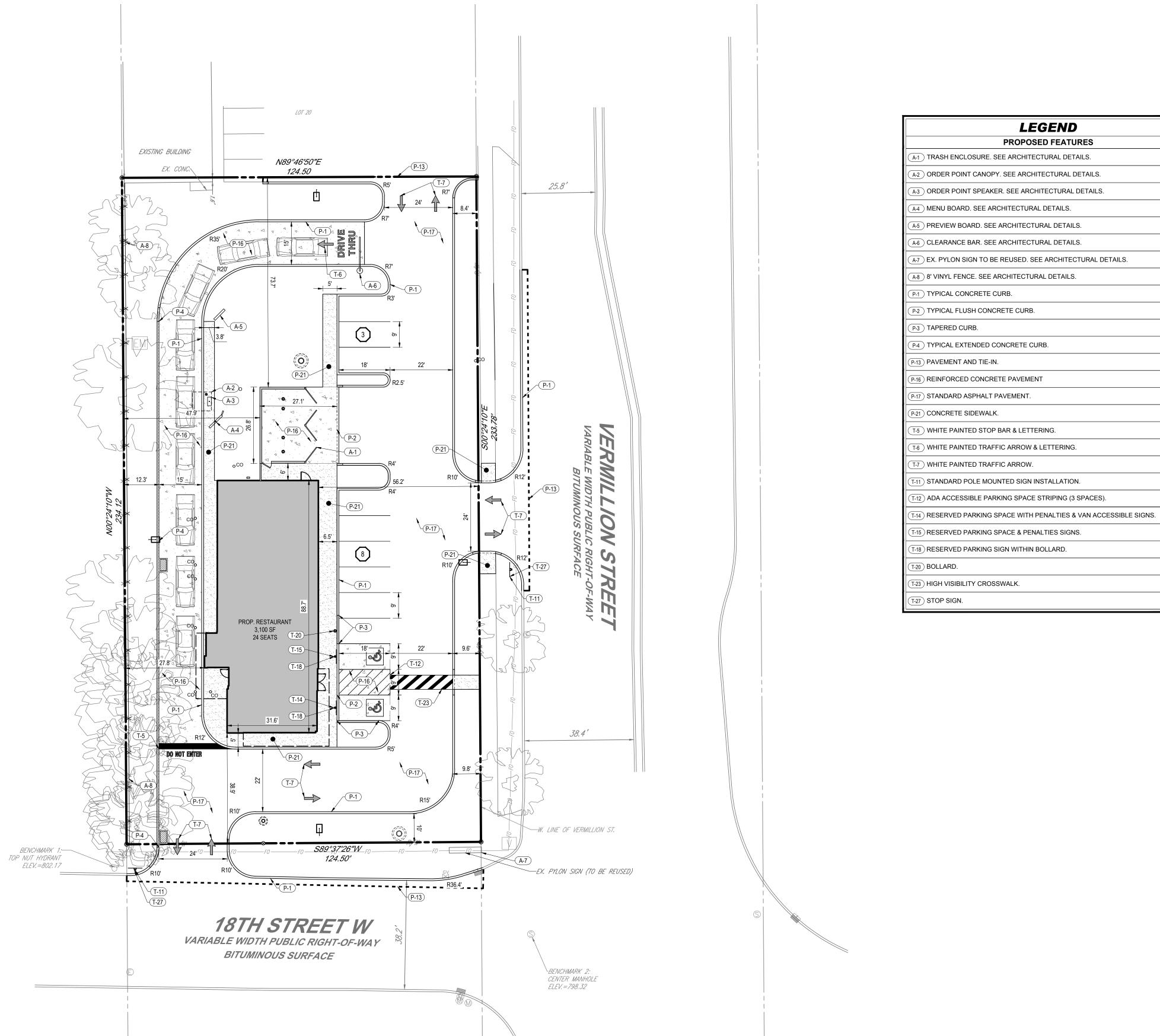
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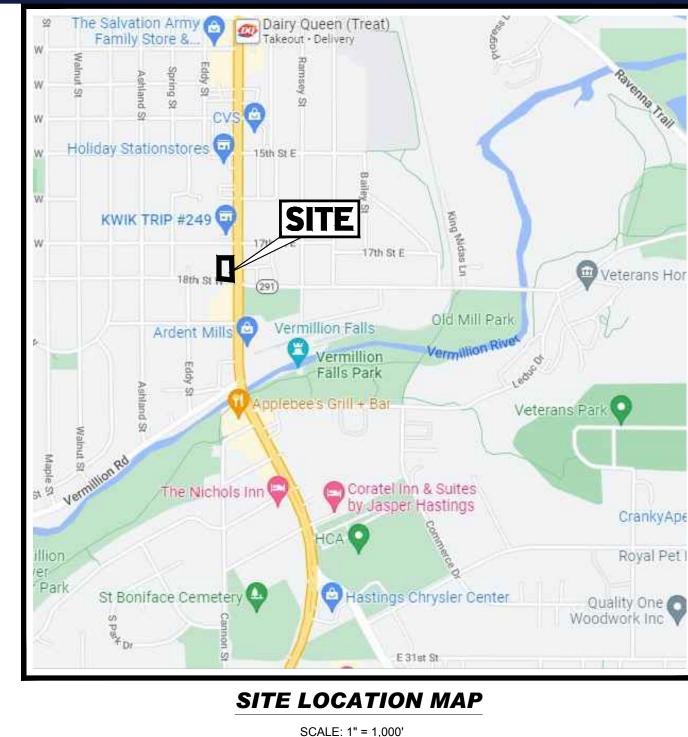
315516

457604

Thuftedal Architects







SCALE: 1" = 1,000' SOURCE: GOOGLE MAPS

Z	ONING TABLE			
ZONE: C-3 COMMUNITY REGIONAL COMMERCE PROPOSED USE: FAST-FOOD RESTAURANT W/ DRIVE-THRU BLOCK: 7, LOTS: 21, 22, 23, 24				
APPLICANT	/ OWNER INFO	RMATION		
APPLICANT:	ARGONAUT MINNESC PO BOX 2650, KLAMA ^T	•		
PROPERTY OWNER:	BP ARGONAL PO BOX 2650, KLAMA	- , -		
BULK REQUIREMENTS				
ITEM	EXISTING	PROPOSED		
MIN. LOT AREA	6,098.4 SF, 5,662.8 SF, 5,662.8 SF, 10,018.8 SF	29,126.8 SF		
MIN. LOT DEPTH	124.5 FT	NO CHANGE		
MIN. YARD SETBACKS				
FRONT YARD	N/A	56.3 FT		
SIDE YARD	N/A	38.9 FT		
REAR YARD	N/A	27.8 FT		

59.1% (16,339 SF)

PARKING REQUIREMENTS					
	REQUIRED	EXISTING	PROPOSED		
MIN. 1 SPACE / 60 SF OR 1 PER 3 SEATS	8	7	11		

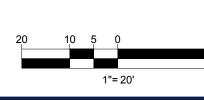
MAX. BUILDING HEIGHT

MAX. IMPERVIOUS LOT COVERAGE

LEGEND					
PROPOSED					
BUILDING					
CONCRETE CURB					
EXTENDED CONCRETE CURB	**************************************				
TAPERED CURB					
FLUSH CURB					
FENCE	——X——				
ACCESSIBLE SYMBOL	Ğ.				
CROSSWALK					
SIDEWALK					
REINFORCED CONCRETE PAVEMENT					
RAMP	600000				
SIGN	-v-				
BOLLARD	۰				
PARKING COUNT	#				
AREA LIGHT					
DRAINAGE INLET					
MANHOLE					
CLEANOUT	oCO				

EXISTII	NG
PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
BUILDING	
CONCRETE CURB	
FENCE	X
GUIDE RAIL	
CONCRETE MONUMENT/ IRON PIN	· •
SIGN	-v-
PARKING COUNT	10
AREA LIGHT	
TREE	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	Ø
WATER/GAS VALVES	₩V GV
ROOF DRAIN/CLEANOUT	o RD o CO
FIRE HYDRANT	~
UTILITY POLE W/ LIGHT	•
UTILITY POLE	

LEGEND





REVISIONS

	REV	DATE	COMMENT	DRAWN BY
	IXE V	DAIL	COMMENT	CHECKED BY
	1	6/7/2022	PER DRC REVIEW	ECS
	'	0///2022	FLK DKC KLVILW	SKS
۱				



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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD220004.00 DRAWN BY: EJZ CHECKED BY: SKS DATE: 05/17/2022 CAD I.D.: PAD220004.00-LDVP-1A

OJECT:

19.1 FT

61.1% (17,811 SF)

PRELIMINARY |
FINAL LAND
DEVELOPMENT
PLANS

ARGONAUT MINNESOTA

VENTURES, INC.

PROPOSED KFC RESTAURANT W/
DRIVE-THRU

1726 VERMILLION STREET

CITY OF HASTINGS
DAKOTA COUNTY, MINNESOTA



1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

www.BohlerEngineering.com



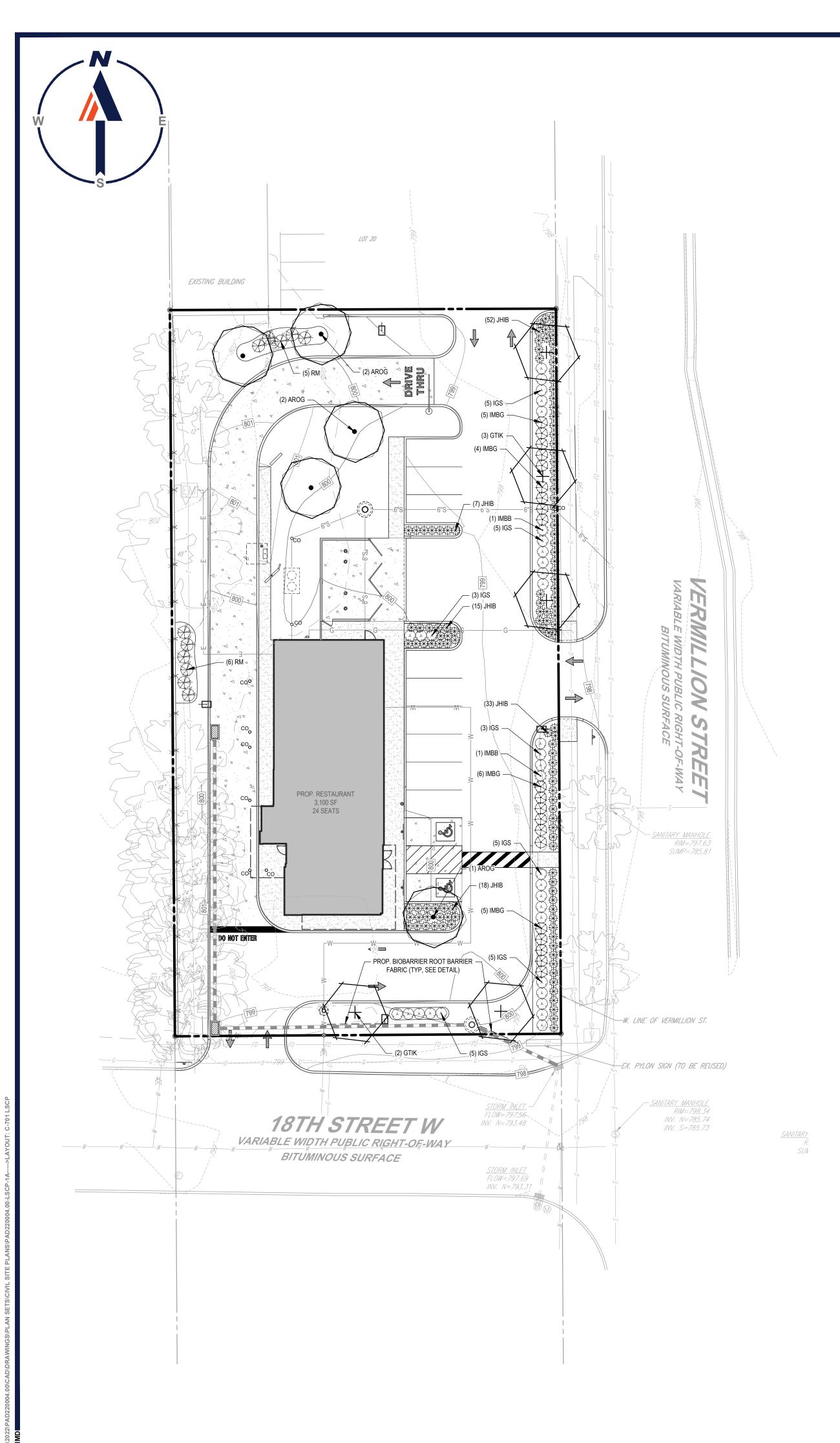
HEET TITLE:

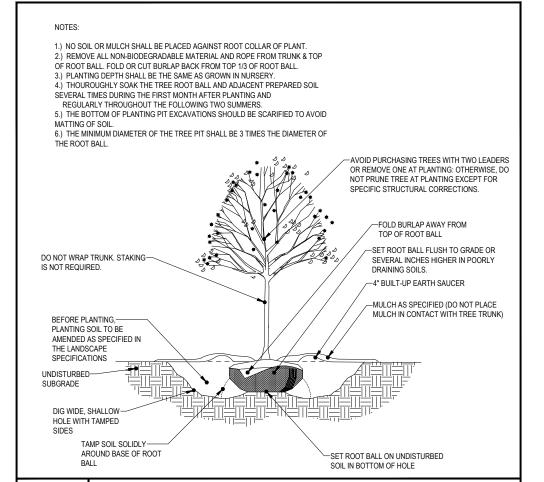
SITE PLAN

ET NUMBER:

C-301

REVISION 1 - 6/7/2022





DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

L-1

FOR CONTAINER-GROWN SHRUBS, USE FINGER, OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE PLANT SHALL BE PLANTED SO THAT THE POINT AT WHICH THE ROOT FLARE OUTER LAYER OF POTTING SOIL: THEN CUT OR PUL PART ANY ROOTS THAT CIRCLE THE PERIMETER O BEGINS IS SET LEVEL WITH GRADE ONE-THIRD OF ROOT BALL AS SHOWN -MULCH AS SPECIFIED (DO NOT PUT MULCH AGAINST THE BASE OF THE PLANT). FINISHED GRADE BOTTOM OF HOLE. BEFORE PLANTING, PLANTING SOIL TO-BE AMENDED AS SPECIFIED IN THE ANDSCAPE SPECIFICATIONS 24" MINIMUM SHRUB PLANTING DETAIL L-5

COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANC
SALDO: 154.06.F. TREE PLANTINGS	1. TREE REQUIREMENTS. A STREET/BOULEVARD TREE SHALL BE REQUIRED FOR EVERY 50 LINEAR FEET OF STREET FRONTAGE IN A SUBDIVISION. ONE FRONT YARD TREE SHALL ALSO BE REQUIRED FOR EVERY LOT IN THE SUBDIVISION. THE SUBDIVIDER SHALL SUBMIT A TREE PLAN INDICATING THE LOCATION AND SPECIES OF TREES. ONLY THOSE VARIETIES OF TREES APPROVED BY THE CITY FORESTER WILL BE USED. THE MINIMUM SIZE SHALL MEASURE 1 AND 1/2 INCHES IN DIAMETER AT GROUND LINE. NO TREES SHALL BE PLANTED WITHIN 30 FEET OF THE INTERSECTION OF CURB LINES ON CORNER LOTS.	SEE SECTION 155.53.E.2.a. FOR DUPLICATE REQUIREMENT.	COMPLIES
ZONING: 155.53 LANDSCAPE STANDARDS	E.1.c.ONE TREE PER 4,000 SQUARE FEET OF PAVED SURFACE IS REQUIRED OF WHICH 75% MUST BE DECIDUOUS, OVERSTORY TREES. TREES SHALL BE PLANTED IN MEDIANS OR DIRECTLY ADJACENT TO THE PARKING LOT PERIMETER.	PROPOSED INTERIOR PARKING LOT PAVED SURFACE = 6,018± SF REQUIRED: 6,018 / 4,000 = 1.5 OR 2 DECIDUOUS TREES PROVIDED: 2 AROG (2 DECIDUOUS TREES)	COMPLIES
	E.2.a.ONE TREE PER 50 FEET OF LOT PERIMETER IS REQUIRED. TREES SHALL BE PLANTED EVERY 50 FEET ALONG PUBLIC AND PRIVATE STREET FRONTAGES BETWEEN THE FRONT LOT LINE AND BACK OF CURB. REMAINING TREES CAN BE PLACED SOMEWHERE ELSE ON THE SITE.	ALONG 18TH STREET = 125± LF REQUIRED: 125 / 50 = 2.5 OR 3 TREES 125 / 40 = 3.1 OR 3 SHRUBS PROVIDED: 1 EXISTING PLUS 2 GTIK (3 TREES); 5 IGS (5 SHRUBS)	COMPLIES
	b. AT LEAST ONE SHRUB PER 40 FEET OF LOT PERIMETER MUST BE PLANTED.	ALONG VERMILLION STREET = 234± LF REQUIRED: 234 / 50 = 4.6 OR 5 TREES 234 / 40 = 5.8 OR 6 SHRUBS PROVIDED: 2 EXISTING PLUS 3 GTIK (5 TREES); 23 IGS, 2 IMBB, 20 IMBG (45 SHRUBS)	COMPLIES
		ALONG NORTH PERIMETER =125± LF REQUIRED: 125 / 50 = 2.5 OR 3 TREES 125 / 40 = 3.1 OR 3 SHRUBS PROVIDED: 1 EXISTING PLUS 2 AROG (3 TREES); 5 RM (5 SHRUBS)	COMPLIES
		ALONG WEST PERIMETER = 234± LF REQUIRED: 234 / 50 = 4.6 OR 5 TREES 234 / 40 = 5.8 OR 6 SHRUBS PROVIDED: 5 EXISTING TREES TO REMAIN; 6 RM (6 SHRUBS)	COMPLIES
	c. AN OPAQUE LANDSCAPING FEATURE A MINIMUM OF 30 INCHES IN HEIGHT IS REQUIRED BETWEEN ANY PARKING LOT OR DRIVEWAY AND THE ADJACENT STREET. SAID FEATURE SHALL BE ONE OR COMBINATION OF THE FOLLOWING: (1) A 10-FOOT WIDE LANDSCAPED STRIP WHICH MUST SCREEN AT LEAST 70% OF THE LENGTH OF THE LOT FRONTAGE WITH AN OPAQUE BARRIER 30 INCHES HIGH AT INITIAL PLANTING. (2) LANDSCAPED BERMS AT LEAST 3 FEET IN HEIGHT MEASURED FROM THE TOP OF STREET CURB ADJACENT TO THE BERM AT A SLOPE NOT GREATER THAN 3:1.	REQUIRED: PARKING LOT SCREEN PROVIDED: 30" MINIMUM EVERGREEN HEDGE PROPOSED SURROUNDING THE PARKING LOT FRONTAGE.	COMPLIES
	E.3.PROPERTIES ADJACENT TO RESIDENTIAL USES. ALL OFF-STREET PARKING, LOADING FACILITIES, EXTERIOR STORAGE AREAS, MECHANICAL AREA, AND DRIVEWAY SHALL BE EFFECTIVELY SCREENED FROM AREAS ZONED OR GUIDED RESIDENTIAL BY 1 OR A COMBINATION OF THE FOLLOWING: (a) A 6-FOOT HIGH OPAQUE FENCE OR WALL. CHAIN LINK FENCES WITH SLATS ARE NOT ACCEPTABLE. (b) BERMING OR LANDSCAPING MEASURING AT LEAST 6 FEET IN HEIGHT MEASURED FROM THE TOP OF THE PARKING LOT OR DRIVE AISLE CURB. LANDSCAPING MUST PROVIDE YEAR-ROUND SCREEN OPACITY OF 75% AT INITIAL PLANTING.	ALONG WEST PROPERTY LINE ADJACENT TO RESIDENTIAL: REQUIRED: 6-FOOT HIGH OPAQUE FENCE OR WALL PROVIDED: 8-FOOT TALL VINYL FENCE	COMPLIES

PLANT SCHEDULE							
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		MATURE HEIGHT
AROG	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL.	B&B		40 - 65' HT.
GTIK	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	2.5" CAL.	B&B		25 - 65' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		MATURE HEIGHT
IGS	31	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER		3 - 6' HT.
IMBB	2	ILEX X MESERVEAE 'BLUE BOY'	BLUE BOY HOLLY	24-30"	CONTAINER		6 - 10' HT.
IMBG	20	ILEX X MESERVEAE 'BLUE GIRL'	BLUE GIRL HOLLY	24-30"	CONTAINER		6 - 10' HT.
JHIB	125	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER		< 6" HT.
RM	11	RHODODENDRON MAXIMUM	ROSE BAY RHODODENDRON	4-5`	B&B		10 - 15' HT.

GENERAL NOTES:

- 1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- 2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- 3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF

CURB TO ALLOW FOR BUMPER OVERHANG.

- 4. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY. THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALI ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE
- INSTALLATION OF AN IRRIGATION SYSTEM. 5. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED
- 6. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.

WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.

LANDSCAPE SPECIFICATIONS:

- SCOPE OF WORK:
 HE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- 2. MATERIALS A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE
- BETWEEN 5.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE C. LAWN - LAWN AREAS SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. FOR SOIL BED PREPARATIONS, REFER TO ITEM 8 BELOW.
- LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. II SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A LINIFORM IICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING
- D. MULCH ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD ARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL JNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN. 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANS) 260.1), LATEST EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION). II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL. III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL
- HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- 3. GENERAL WORK PROCEDURES
 A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE

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 A. THE END OF FACH WORKDAY, ALL DE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS,

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS

- SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE. 4. SITE PREPARATIONS
 A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT E LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS 3. TREE PROTECTION A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE
- PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF INSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED. B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED
- WITHIN THE TREE PROTECTION DETAIL. C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED. IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL
- CONSTRUCTION ACTIVITY HAS BEEN COMPLETED. D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS
 CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH
- OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON SITE CONDITIONS. C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS
- PERFORMED BY A CERTIFIED SOIL LABORATORY.

 I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE. III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- 7. FINISHED GRADING
 A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT HANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- 8. TOPSOILING
 A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED DUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

- - EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): I. 20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER

). ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM

- II. 20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION
- CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. F, PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING
- I. PLANTS: MARCH 15TH TO DECEMBER 15TH II. LAWN AND SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR
- G. FURTHERMORE. THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA
 BETULA VARIETIES POPULUS VARIETIES
- CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOS LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

- H. PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: I. 1 PART PEAT MOSS II. 1 PART COMPOSTED COW MANURE BY VOLUME
 III. 3 PARTS TOPSOIL BY VOLUME
- N. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 A) 2 TABLETS PER 1 GALLON PLANT B) 3 TABLETS PER 5 GALLON PLANT
- D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL. THE POINT AT WHICH THE ROOT FLARE

BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF

- K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED O A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST L. GROUND COVER AREAS SHALL RECEIVE A $\frac{1}{2}$ * LAYER OF HUMUS RAKED INTO THE TOP 1* OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT
- M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED
- AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB. O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
- 10. TRANSPLANTING (WHEN REQUIRED)
 A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2.F. ABOVE) B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL,
- ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES
- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE
- ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE. IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE

A. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE ROND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN

COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYING" IE MORE THAN 30% OF ITS BRANCHES ARE DEAD
- . TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATION: SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER

REV DATE

REVISIONS

COMMENT

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PROJECT:

PRELIMINARY / FINAL LAND **DEVELOPMENT PLANS**

ARGONAUT MINNESOTA

VENTURES, INC. PROPOSED KFC RESTAURANT W/

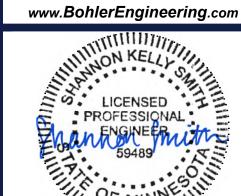
DRIVE-THRU **1726 VERMILLION STREET** CITY OF HASTINGS

DAKOTA COUNTY, MINNESOTA

BOHLER

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PITTSBURGH, PA 15212 Phone: (724) 638-8500



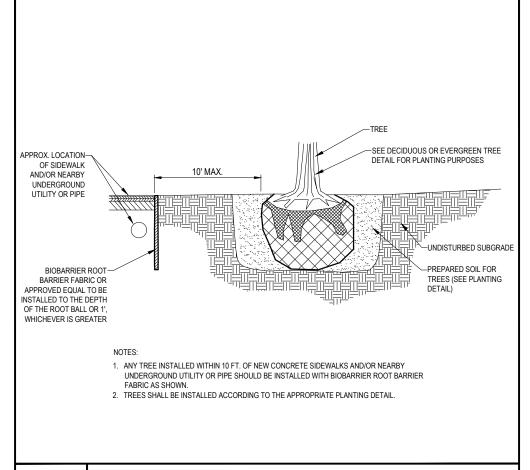
SHEET TITLE:

LANDSCAPE

PLAN

C-701

REVISION 1 - 6/7/2022



BIOBARRIER ROOT BARRIER DETAIL NOT TO SCALE