



Planning Commission Memorandum

To: Planning Commissioners
From: Justin Fortney, City Planner
Date: June 13, 2022
Item: Site Plan – KFC Restaurant 2022-39 - 1726 Vermillion Street

Planning Commission Action Requested

Review the proposal to construct a KFC restaurant and make a recommendation to the City Council.

Background Information

The location is on the former Freedom gas station site at 18th St E and Vermilion St. The gas station, awning, and tanks, have all been removed.

Comprehensive Plan

The property is guided Commercial within the 2040 Comprehensive Plan.

Zoning

The property is zoned C-3 – Community Regional Commerce. Allowable uses include restaurants, retail sales and services, etc.

Existing Condition

The existing site has been demolished except for the concrete parking lot. The fuel tanks have been removed.

Adjacent Zoning and Land Use

The following land uses abut the property:

Direction	Use	Comp Plan District	Zoning District
North	Dairy store/dairy offices	Commercial	C-3 Commercial
East	Dairy trailer parking (61)	Commercial	C-3 Commercial
South	Leased office/commercial	Commercial	C-3 Commercial
West	Single-family homes	Residential – Med. Dens.	R-2 Medium Density

Site Plan Review

Vehicular Access and Circulation

The proposal includes a driveway onto 18th Street, a right-in / right-out onto Vermillion Street, and maintains existing cross access to the north. The site has a long drive-thru cue lane. The cue drive is 15-feet wide.

Building Setbacks

There are no prescribed minimum setbacks within the zoning district, however, proposed setbacks are reviewed during site plan review for conformaty with the area. Building setbacks are existing and have been adiquate. The previous convenience store was 16-feet from the western property line. The proposed western elevation will include a menu board, cue lane, and pick up window. The applicants propose to buffer the activity from the residential lots with a proposed building setback of 27.8-feet from the western property line, a 12.3-foot wide landscape buffer with trees and an 8-foot tall vinyl fence.

Required Parking

Parking meets minimum requirements as follows:

Required Parking	Seats	Parking Requirement	Needed	Proposed
Restaurant	24	1 per 3 seats	8	11

Architectural Design

The applicant is proposing façades with ample amount of glass, brick, and fiber cement siding, which all easely meet the minnimum requirments of class one and two materials.

Landscape Plan

The proposed landscaping meets the requirements based on the following. The required number of trees and shrubs are provided based on the lot perimeter and amount of pavement/ concrete coverage. An evergreen hedge is proposed to buffer the parking lot. An eight-foot-tall vinyl fence is proposed in the west 12.3-foot wide landscape strip to further buffer the residential lots.

Lighting Plan

The lighting plan shows light levels at the property lines below the maximum allowable limits. Along the western property line only .5 footcandles are allowed due to the adjacent residential zoning. The proposed lighting levels vary from .4 to .1 footcandles in that location.

Grading, Drainage, Erosion Control and Utility Plan Review

The drainange, grading and erroson control plan is being reviewed by the City Engineering Department for compliance.

Comments

Staff received the following comments.

Good morning John, we are very concerned with several issues surrounding a KFC being developed on the 18th street and vermilion corner.

first and foremost the space surrounding the property and traffic in and out of the property, and down 18th street with children and pets safety being of paramount importance.

Second, the constant litter of bones and greasy paper being strewn about up and down 18th, creating health hazards for our pets and children.

Third, the 18 hour smell of fried chicken consuming our air quality in all adjacent properties, would be enough for us to move and degrade our property values.

I know that it would be incumbent on us to sell to the lowest possible bidders if such an establishment were to be built.

Some of us on 18th and surrounding blocks will be laser focused on stopping this from going forward.

Thank you for your time.

Tim Bader and Marci Jorgensen

122 18th Street

Recommendation

Approval of the Site Plan is recommended subject to the following conditions:

1. Conformance with the plans submitted with the Planning Commission Staff Report dated June 13, 2022
2. All disturbed areas on the property shall be protected to eliminate erosion control problems.
3. Approval of a building permit.
4. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.
5. The City Engineering Department must approve the utility, grading, drainage, and erosion control plan.
6. City and state right-of-way permits are needed for the proposed entrances.
7. Incorporate final requirements from MNDot's review.
8. A utility abandonment agreement is required with the city for all unused utility stubs adjacent to the property.

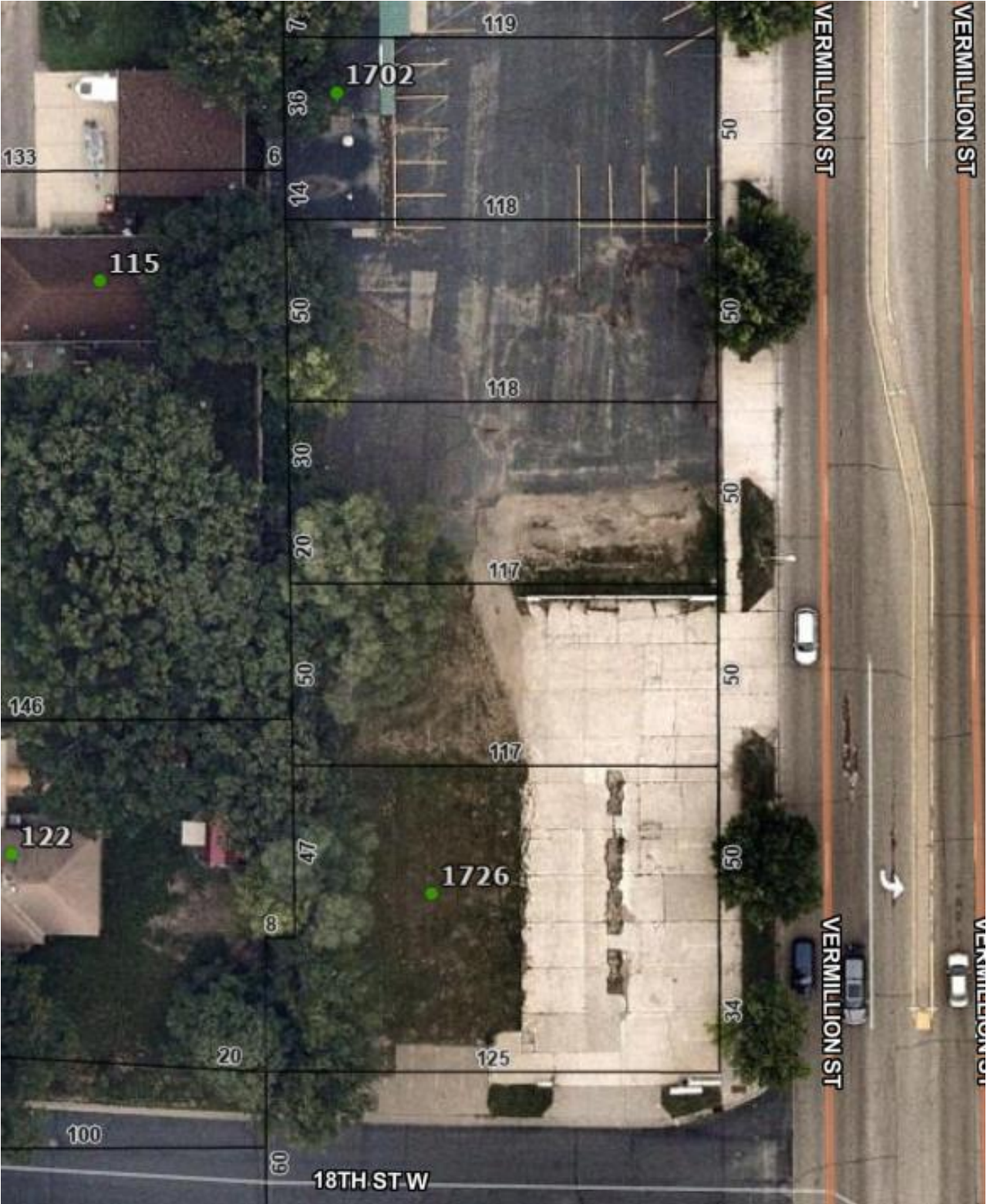
ATTACHMENTS

- Site Location Map
- Site Picture
- Architectural Elevations
- Site Plans

2011 Aerial



2021 Aerial



Site Photos



Materials and Elevations



SF-1 FIBER CEMENT
SIDING PAINTED BM
EXOTIC RED 2086-10



SF-1 FIBER CEMENT
SIDING PAINTED BM
OC-23 CLASSIC GRAY



BR-2 ALASKA WHITE
VELOUR BRICK

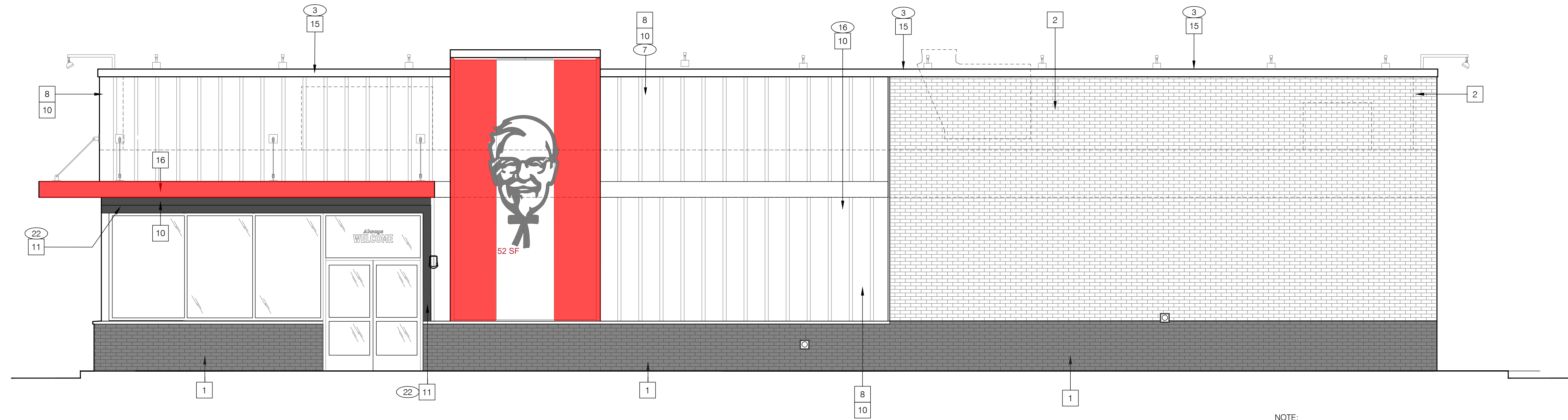


BR-1 BLACK DIAMOND
VELOUR BRICK

NEXT GEN EXTERIOR MATERIALS

SIGNAGE CALCULATIONS - MAIN ENTRANCE FACADE

FACADE 1,592 SQ. FT. / 5% =	79 SF
TOTAL SIGNAGE SQUARE FOOTAGE	52 SF



NOTE:
SIGNAGES AND BUILDING ELEMENTS - REFER TO "VENDOR SUPPLIED / INSTALLED ELEMENTS" GENERAL NOTE; THIS SHEET.

MAIN ENTRY ELEVATION 1/4"=1'-0" **A**

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES
BRICK				
1 br-1	BLACK EXTERIOR BRICK @ BUILDING BASE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK C216 BLACK DIAMOND VELOUR STANDARD RUNNING BOND	ALTERNATE: MODULAR FACE BRICK C216 DOWNING BLACK VELOUR STANDARD RUNNING BOND
2 br-2	WHITE EXTERIOR BRICK @ BUILDING FACADE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK ALASKA WHITE VELOUR STANDARD RUNNING BOND	
METAL				
5 m-1	RED METAL	VENDOR PROVIDED	48"X96" - PTD TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10	
6 m-2	WHITE METAL	VENDOR PROVIDED	48"X96" - PTD TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70	
SPECIAL FINISH				
8 sf-1	FIBER CEMENT SIDING AT WALLS	JAMES HARDIE	BOARD AND BATTEN STYLE WHERE SHOWN (PAINTED) REFER TO EXTERIOR ELEVATIONS.	www.jameshardie.com HARDIE PANEL VERTICAL SIDING - SMOOTH
PAINT				
9 p-1	RED EXTERIOR PAINT	TBD	TO MATCH BENJAMIN MOORE p-1 EXOTIC RED 2086-10	
10 p-2	WHITE EXTERIOR PAINT	TBD	TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70	
11 p-3	BLACK EXTERIOR PAINT	TBD	TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10	
METAL TRIM				
15	EXTERIOR METAL TRIM (BLACK)		TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10	
16	EXTERIOR METAL TRIM (RED)		TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10	

EXTERIOR FINISH SCHEDULE **F**

IMAGE COMPONENTS SCHEDULE			
TAG	QTY	ITEM DESCRIPTION	ELEC
SIGNAGE			
B1c	1	STRIPED BANNER PANELS -SIGNAGE BY VENDOR	YES
B3e	1	DT CANOPY (TRED) -SIGNAGE VENDOR	YES
B9a	1	QUICK PICK UP CANOPY (RED - DT SIDE) NO SIGNAGE BY VENDOR	YES
B9b	1	L-SHAPE FRONT CANOPY (RED) - SIGNAGE BY VENDOR	YES
S3a	1	KFC LETTERS (RED) - 30" Primary Trademark	YES
S21b	1	COLONEL FACE @ BANNER PANELS	NO
S26	-	ORIGINAL RECIPE FEATURE	NO
S27a	-	ONLINE ORDER PICKUP -canopy face vinyl	NO
S27c	-	ONLINE PICKUP ARROW EMBLEM - Wall @ pick up entry	NO
S28	-	11 HERBS & SPICES -stencil (CUSTOM SIZE)	NO
S29	-	MADE FRESH EVERY DAY- stencil (CUSTOM SIZE)	NO
S30	-	KENTUCKY FRIED CHICKEN LETTERS	YES
S31a	-	ALL MY CHICKEN POSTER (W/FRAME)	NO
S31b	-	ORDER AHEAD POSTER (W/FRAME)	NO
S31c	-	FAST EASY PICK UP POSTER (W/FRAME)	NO
S31d	-	BEST INVENTION POSTER (W/FRAME)	NO

* REFER TO GRAPHICS PACKAGE FOR MORE INFORMATION

IMAGE COMPONENTS **D**

MISCELLANEOUS:

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

B. REFER TO SHEET A7.1 FOR EXTERIOR GRAPHICS - IMAGE COMPONENTS SCHEDULE - IMAGE COMPONENTS SCHEDULE; REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

SEALERS (REFER TO SPECS):

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES **C**

- 1 PAINT WALL SURFACE BEHIND AWNING
- 2 DRIVE-THRU WINDOW. SEE SHEET A2.1
- 3 PARAPET FASCIA CAP (COLOR: BLACK)
- 4 METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (CLEAR ANODIZED ALUMINUM)
- 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 HARDI-PANEL SIDING
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- 9 CO2 FILLER VALVE & COVER.
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- 11 SWITCHGEAR.
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- 30 LINEAR DOWNLIGHT FIXTURE.
- 31 BRICK SCREEN WALL BETWEEN BUILDING AND DUMPSTER ENCLOSURE. SEE CIVIL DOCUMENTS.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES** **B**

DESIGNER:



BASE brand studios
BRAND ARCHITECTURAL DESIGNER
BASE brand studios
A DIVISION OF JEFFERSON ARCHITECTURE
150 HIDDLESTON ROAD, STE 900
PLEASANTON, CA 94566
770-932-9848

ARCHITECT OF RECORD:
Thuftedal Architects architecture + interiors
5504 MERRITT CIR
EDINA, MN 55436
TEL 612-743-6225
thuftedal.com

ARCHITECT'S STAMP
I hereby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Ryan B. Thuftedal, AIA
Signature
License #44757

PLAN SET REVISIONS:

△	

ISSUE DATES:

SD	2.24.22
KFC DAP	3.01.22
ZONING	5.16.22
BUILDING BIDS	

BUILDING TYPE: NG-30
PLAN VERSION: 21.1
SITE NUMBER: 315516
ENTITY NUMBER: 457604
STORE NUMBER: xxxxx

KFC
1726 VERMILLION ST.
HASTINGS, MN 55033



EXTERIOR ELEVATION

A4.0

PLOT DATE: 15.05.2022



BRAND ARCHITECTURAL DESIGNER:
 BASE brand studios
 A DIVISION OF JEFFERSON ARCHITECTURE
 150 HIDDLESTON ROAD, STE 900
 PEABODY, VT, 05668
 778-832-8848

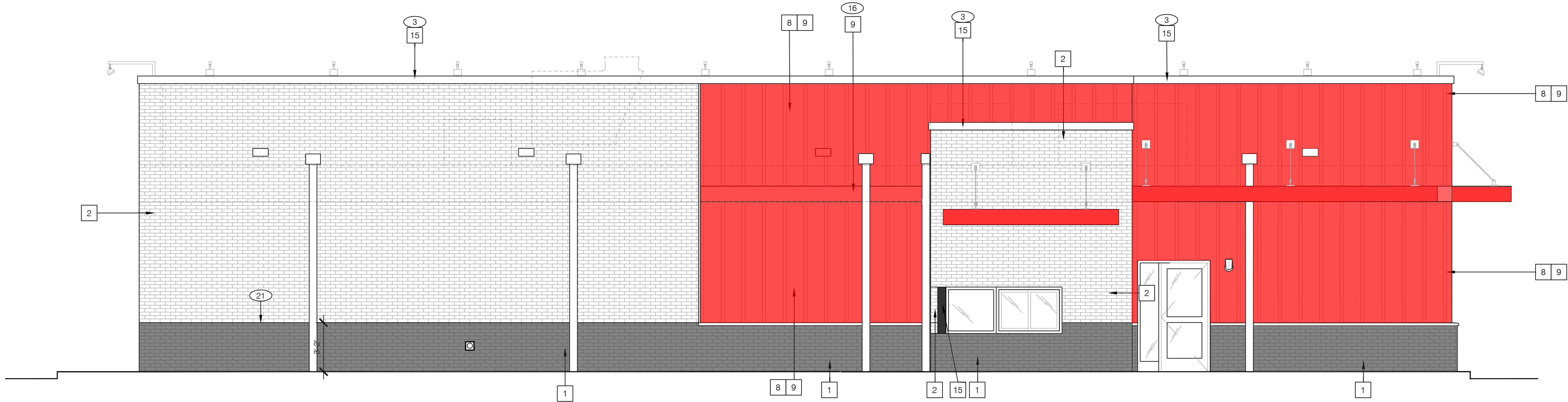
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ARCHITECT OF RECORD:
Thuftedal Architects
 architecture + interiors
 5504 MERRITT CIR
 EDINA, MN 55436
 TEL 612-743-6225
 thuftedal.com

ARCHITECT'S STAMP
 I hereby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
 Ryan B. Thuftedal, AIA
 License #44757

SIGNAGE CALCULATIONS - DRIVE-THRU FACADE	
FACADE 1,592 SQ. FT. / 5% =	79 SF
TOTAL SIGNAGE SQUARE FOOTAGE	0 SF

NOTE:
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DRIVE-THRU ELEVATION 1/4"=1'-0" **A**

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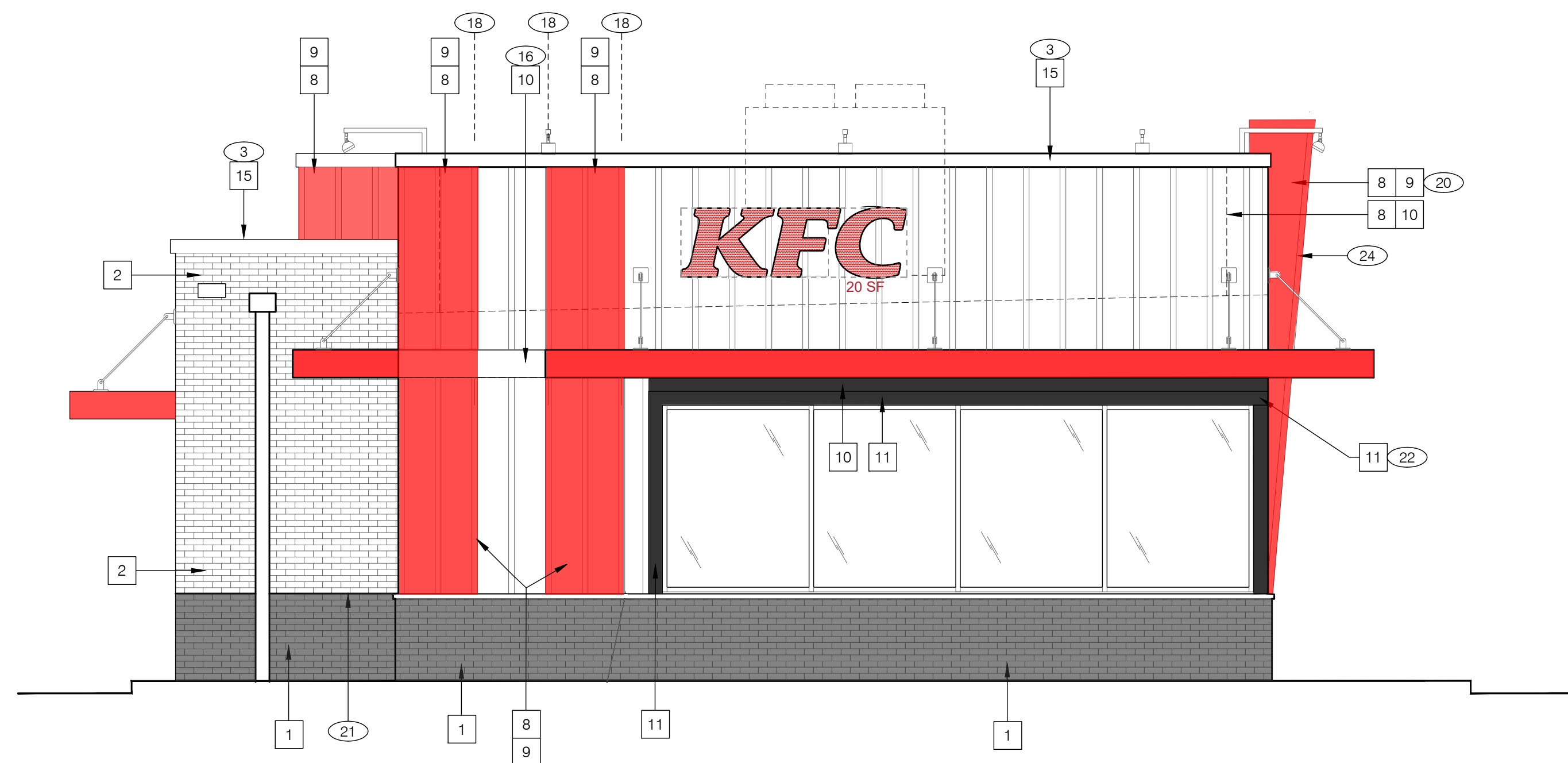
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A4.1

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FRONT ELEVATION 1/4"=1'-0" **A**

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- 30 LINEAR DOWNLIGHT FIXTURE.
- 31 BRICK SCREEN WALL BETWEEN BUILDING AND DUMPSTER ENCLOSURE. SEE CIVIL DOCUMENTS.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES** **B**

DESIGNER:

BASE

brand studios

BRAND ARCHITECTURAL DESIGNER:

BASE brand studios
A DIVISION OF JEFFERSON ARCHITECTURE
150 HUDDLESTON ROAD, STE 900
POCAHONTAS CITY, GA 30285
770.632.9343

ARCHITECT OF RECORD:

Thuftedal Architects
architecture + interiors
5504 MERRITT CIR
EDINA, MN 55436
TEL 612-743-6225
thuftedal.com

ARCHITECT'S STAMP

I hereby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Ryan B. Thuftedal, AIA
Signature: *[Signature]*
License #44757

PLAN SET REVISIONS:

ISSUE DATES:

SD	2.24.22
KFC DAP	3.01.22
ZONING	5.16.22
BUILDING	
BIDS	

BUILDING TYPE: NG-30

PLAN VERSION: 21.1

SITE NUMBER: 315516

ENTITY NUMBER: 457604

STORE NUMBER: xxxxx

KFC

1726 VERMILLION ST.
HASTINGS, MN 55033

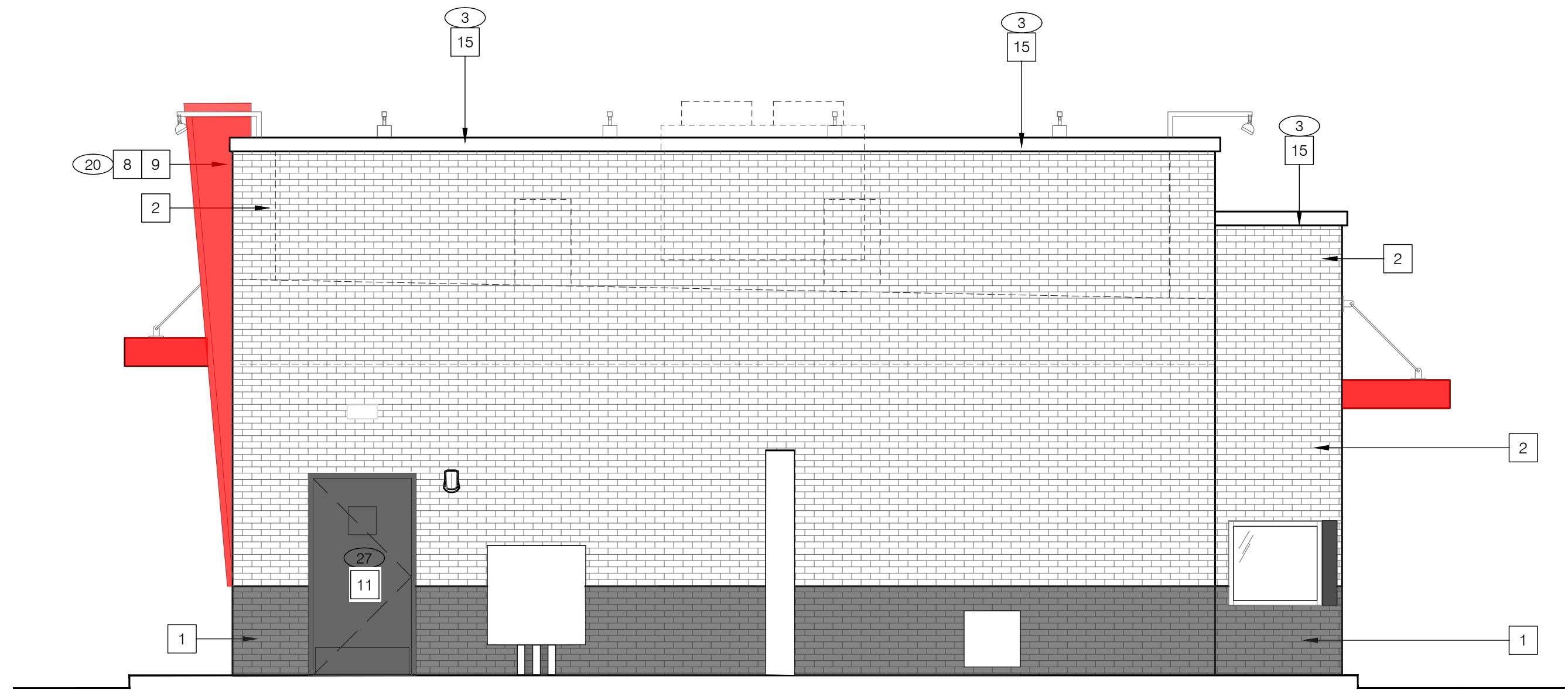
NG-30-21

EXTERIOR ELEVATION

A4.2

PLOT DATE: 15.05.2022

SIGNAGE CALCULATIONS - REAR FACADE	
FACADE 668 SQ. FT. / 5% =	33 SF
TOTAL SIGNAGE SQUARE FOOTAGE	0 SF



NOTE:
SIGNAGE AND BUILDING ELEMENTS: REFER TO 'VENDOR SUPPLIED / INSTALLED ELEMENTS' GENERAL NOTE; THIS SHEET.

REAR ELEVATION 1/4"=1'-0" **A**

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES
BRICK				
1 br-1	BLACK EXTERIOR BRICK @ BUILDING BASE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK C216 BLACK DIAMOND VELOUR STANDARD RUNNING BOND	ALTERNATE: MODULAR FACE BRICK C216 DOWNING BLACK VELOUR STANDARD RUNNING BOND
2 br-2	WHITE EXTERIOR BRICK @ BUILDING FACADE	THE BELDEN BRICK COMPANY	MODULAR FACE BRICK ALASKA WHITE VELOUR STANDARD RUNNING BOND	
METAL				
5 m-1	RED METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10	
6 m-2	WHITE METAL	VENDOR PROVIDED	48"X96"- PTD TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70	
SPECIAL FINISH				
8 sf-1	FIBER CEMENT SIDING AT WALLS	JAMES HARDIE	BOARD AND BATTEN STYLE WHERE SHOWN (PAINTED) REFER TO EXTERIOR ELEVATIONS.	www.jameshardie.com HARDIE PANEL VERTICAL SIDING - SMOOTH
PAINT				
9 p-1	RED EXTERIOR PAINT	TBD	TO MATCH BENJAMIN MOORE p-1 EXOTIC RED 2086-10	
10 p-2	WHITE EXTERIOR PAINT	TBD	TO MATCH p-2 BENJAMIN MOORE WEDDING VEIL 2125-70	
11 p-3	BLACK EXTERIOR PAINT	TBD	TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10	
METAL TRIM				
15	EXTERIOR METAL TRIM (BLACK)		TO MATCH p-3 BENJAMIN MOORE ONYX 2133-10	
16	EXTERIOR METAL TRIM (RED)		TO MATCH p-1 BENJAMIN MOORE EXOTIC RED 2086-10	

EXTERIOR FINISH SCHEDULE **F**

SIGNAGE			
TAG	QTY	ITEM DESCRIPTION	ELEC
B1c	1	STRIPED BANNER PANELS -SIGNAGE BY VENDOR	YES
B3e	1	DT CANOPY (TRED) -SIGNAGE VENDOR	YES
B9a	1	QUICK PICK UP CANOPY (RED - DT SIDE) NO SIGNAGE BY VENDOR	YES
B9b	1	L-SHAPE FRONT CANOPY (RED) - SIGNAGE BY VENDOR	YES
S3a	1	KFC LETTERS (RED) - 30" Primary Trademark	YES
S21b	1	COLONEL FACE @ BANNER PANELS	NO
S26	-	ORIGINAL RECIPE FEATURE	NO
S27a	-	ONLINE ORDER PICKUP -canopy face vinyl	NO
S27c	-	ONLINE PICKUP ARROW EMBLEM - Wall @ pick up entry	NO
S28	-	11 HERBS & SPICES -stencil (CUSTOM SIZE)	NO
S29	-	MADE FRESH EVERY DAY- stencil (CUSTOM SIZE)	NO
S30	-	KENTUCKY FRIED CHICKEN LETTERS	YES
S31a	-	ALL MY CHICKEN POSTER (W/FRAME)	NO
S31b	-	ORDER AHEAD POSTER (W/FRAME)	NO
S31c	-	FAST EASY PICK UP POSTER (W/FRAME)	NO
S31d	-	BEST INVENTION POSTER (W/FRAME)	NO

* REFER TO GRAPHICS PACKAGE FOR MORE INFORMATION

IMAGE COMPONENTS SCHEDULE **D**

MISCELLANEOUS:

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

B. REFER TO SHEET A7.1 FOR EXTERIOR GRAPHICS - IMAGE COMPONENTS SCHEDULE - IMAGE COMPONENTS SCHEDULE; REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

SEALERS (REFER TO SPECS):

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES **C**

- 1 PAINT WALL SURFACE BEHIND AWNING
- 2 DRIVE-THRU WINDOW. SEE SHEET A2.1
- 3 PARAPET FASCIA CAP (COLOR: BLACK)
- 4 METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (CLEAR ANODIZED ALUMINUM)
- 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 HARDI-PANEL SIDING
- 8 HOSE BIB - REFER TO PLUMBING DRAWINGS.
- 9 CO2 FILLER VALVE & COVER.
- 10 SCUPPER, COLLECTOR AND DOWNSPOUT 6" MIN.
- 11 SWITCHGEAR.
- 12 INDICATES TOP OF ROOF DECK.
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5504 MERRITT CIR
EDINA, MN 55436
TEL 612-743-6225
thuftedal.com

ARCHITECT'S STAMP
I hereby certify that this plan, specification, or report was prepared by me or under my supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Ryan B. Thuftedal, AIA
Signature: *[Signature]*
License #44757

PLAN SET REVISIONS:

△	

ISSUE DATES:

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KFC DAP	3.01.22
ZONING	5.16.22
BUILDING BIDS	

BUILDING TYPE: NG-30
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SITE NUMBER: 315516
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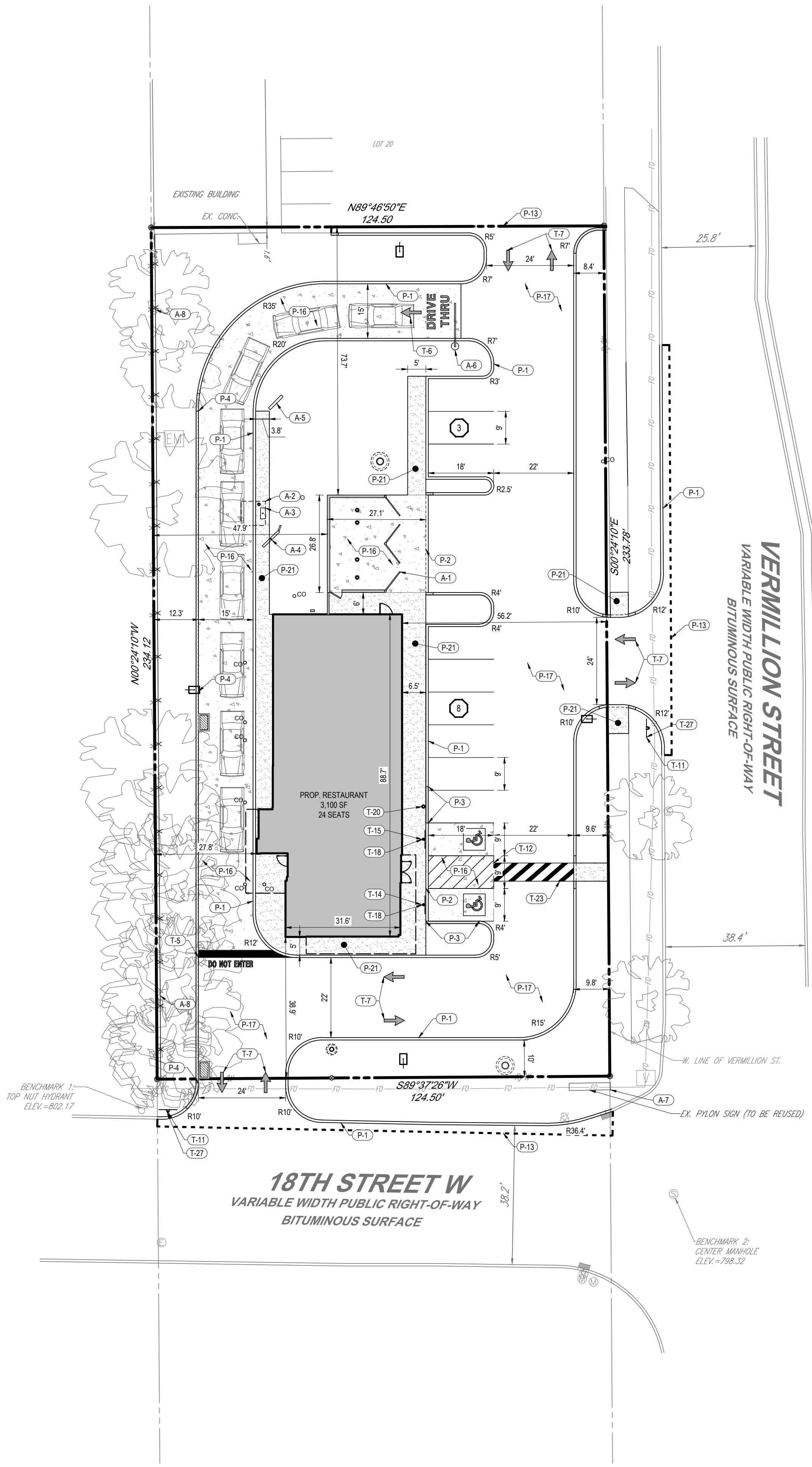
KFC
1726 VERMILLION ST.
HASTINGS, MN 55033



EXTERIOR ELEVATION

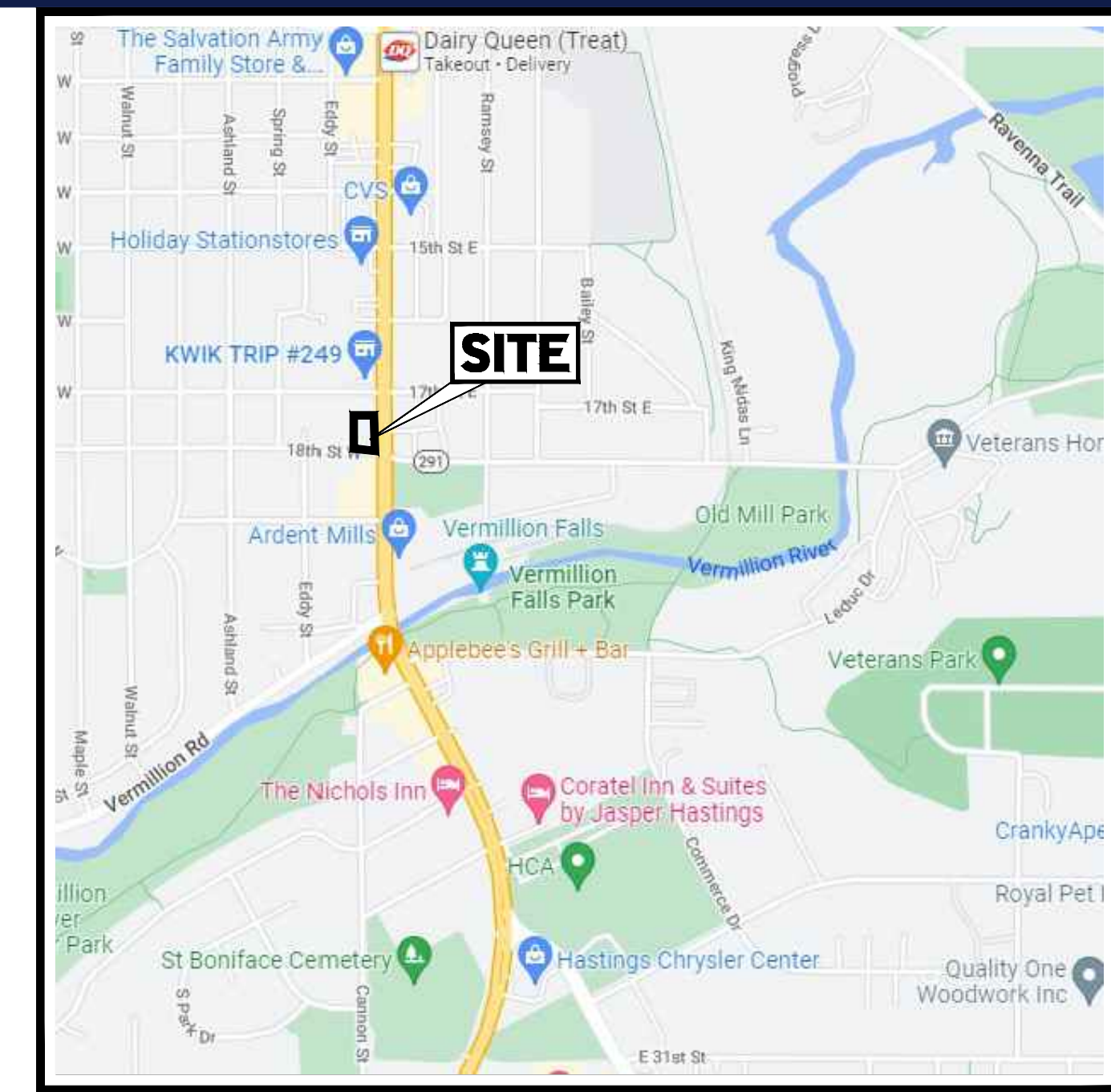
A4.3

PLOT DATE: 15.05.2022



LEGEND
PROPOSED FEATURES

- (A.1) TRASH ENCLOSURE. SEE ARCHITECTURAL DETAILS.
- (A.2) ORDER POINT CANOPY. SEE ARCHITECTURAL DETAILS.
- (A.3) ORDER POINT SPEAKER. SEE ARCHITECTURAL DETAILS.
- (A.4) MENU BOARD. SEE ARCHITECTURAL DETAILS.
- (A.5) PREVIEW BOARD. SEE ARCHITECTURAL DETAILS.
- (A.6) CLEARANCE BAR. SEE ARCHITECTURAL DETAILS.
- (A.7) EX. PYLON SIGN TO BE REUSED. SEE ARCHITECTURAL DETAILS.
- (A.8) 8" VINYL FENCE. SEE ARCHITECTURAL DETAILS.
- (P.1) TYPICAL CONCRETE CURB.
- (P.2) TYPICAL FLUSH CONCRETE CURB.
- (P.3) TAPERED CURB.
- (P.4) TYPICAL EXTENDED CONCRETE CURB.
- (P.13) PAVEMENT AND TIE-IN.
- (P.16) REINFORCED CONCRETE PAVEMENT
- (P.17) STANDARD ASPHALT PAVEMENT.
- (P.21) CONCRETE SIDEWALK.
- (T.5) WHITE PAINTED STOP BAR & LETTERING.
- (T.6) WHITE PAINTED TRAFFIC ARROW & LETTERING.
- (T.7) WHITE PAINTED TRAFFIC ARROW.
- (T.11) STANDARD POLE MOUNTED SIGN INSTALLATION.
- (T.12) ADA ACCESSIBLE PARKING SPACE STRIPING (3 SPACES).
- (T.14) RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS.
- (T.15) RESERVED PARKING SPACE & PENALTIES SIGNS.
- (T.18) RESERVED PARKING SIGN WITHIN BOLLARD.
- (T.20) BOLLARD.
- (T.23) HIGH VISIBILITY CROSSWALK.
- (T.27) STOP SIGN.



SITE LOCATION MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

ZONING TABLE
ZONE: C-3 COMMUNITY REGIONAL COMMERCIAL
PROPOSED USE: FAST FOOD RESTAURANT W/ DRIVE-THRU
BLOCK: 7, LOTS: 21, 22, 23, 24

APPLICANT / OWNER INFORMATION

APPLICANT: ARGONAUT MINNESOTA VENTURES, INC
PO BOX 2650, KLAMATH FALLS, OR 97603

PROPERTY OWNER: BP ARGONAUT RE, LLC
PO BOX 2650, KLAMATH FALLS, OR 97603

BULK REQUIREMENTS

ITEM	EXISTING	PROPOSED
MIN. LOT AREA	6,098.4 SF, 5,662.8 SF, 5,662.8 SF, 10,018.8 SF	29,126.8 SF
MIN. LOT DEPTH	124.5 FT	NO CHANGE
MIN. YARD SETBACKS		
FRONT YARD	N/A	56.3 FT
SIDE YARD	N/A	38.9 FT
REAR YARD	N/A	27.8 FT
MAX. BUILDING HEIGHT	N/A	19.1 FT
MAX. IMPERVIOUS LOT COVERAGE	59.1% (16,339 SF)	61.1% (17,811 SF)

PARKING REQUIREMENTS

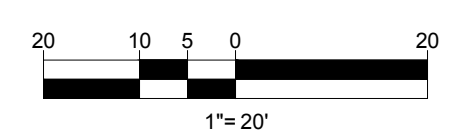
	REQUIRED	EXISTING	PROPOSED
MIN. 1 SPACE / 60 SF OR 1 PER 3 SEATS	8	7	11

LEGEND
PROPOSED

- BUILDING
- CONCRETE CURB
- EXTENDED CONCRETE CURB
- TAPERED CURB
- FLUSH CURB
- FENCE
- ACCESSIBLE SYMBOL
- CROSSWALK
- SIDEWALK
- REINFORCED CONCRETE PAVEMENT
- RAMP
- SIGN
- BOLLARD
- PARKING COUNT
- AREA LIGHT
- DRAINAGE INLET
- MANHOLE
- CLEANOUT

LEGEND
EXISTING

- PROPERTY LINE
- R.O.W. LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- BUILDING
- CONCRETE CURB
- FENCE
- GUIDE RAIL
- CONCRETE MONUMENT/ IRON PIN
- SIGN
- PARKING COUNT
- AREA LIGHT
- TREE
- DRAINAGE INLET
- STORM/SANITARY MANHOLE
- WATER/GAS VALVES
- ROOF DRAIN/CLEANOUT
- FIRE HYDRANT
- UTILITY POLE W/ LIGHT
- UTILITY POLE



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	6/7/2022	PER DRC REVIEW	ECS SKS

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PROJECT No.: PAD220004.00
DRAWN BY: E.JZ
CHECKED BY: SKS
DATE: 05/17/2022
CAD ID.: PAD220004.00-LDVP-1A

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS
FOR
ARGONAUT MINNESOTA VENTURES, INC.
PROPOSED KFC RESTAURANT W/ DRIVE-THRU
1726 VERMILLION STREET
CITY OF HASTINGS
DAKOTA COUNTY, MINNESOTA

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com



SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-301
REVISION 1 - 6/7/2022

R:\2022\PA222004\00\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PA222004.00-LDVP-1A\...LAYOUT_C-301.rvt

