



## *City Council Memorandum*

**To:** Mayor Fasbender and City Council  
**From:** John Hinzman, Community Development Director  
**Date:** June 17, 2024  
**Item:** Resolution: Site Plan – HTG Architects (United Heroes League) – Stadium Seating and Locker Room – 15211 Ravenna Trail

### **Council Action Requested:**

Adopt the attached resolution granting Site Plan approval for United Heroes League (UHL) to construct stadium bleacher seating for 1,175 individuals and a 3,450 s.f. locker room building underneath the bleachers. The site is located south of the UHL's existing outdoor hockey rink located at 15211 Ravenna Trail. Approval requires a simple majority of City Council.

### **Background Information:**

Over the last ten years, Defending the Blue Line (now UHL) has purchased property and planned for development of a recreation facilities for family members of veterans. On April 20, 2020 the Council approved an Interim Use Permit (IUP) to allow for development of an obstacle course on the site along with temporary improvements for a gravel parking lot. A new IUP was approved on August 15, 2022 to allow for an extended interim use period. The IUP requires installation of landscaping, permanent restroom, and waste enclosure structures by May 11, 2025.

### **Financial Impact:**

Future commercial development of the site will increase tourism spending in Hastings.

### **Advisory Commission Discussion:**

The Planning Commission voted 5-0 to recommend approval of the Site Plan at the June 10, 2024 meeting with limited discussion.

### **Attachments:**

- Resolution – Site Plan Approval
- Planning Commission Staff Report – May 13, 2024

**HASTINGS CITY COUNCIL****RESOLUTION NO. \_\_\_\_\_****A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HASTINGS  
GRANTING SITE PLAN APPROVAL FOR CONSTRUCTION OF STADIUM  
SEATING AND A LOCKER ROOM AT 15211 RAVENNA TRAIL FOR UNITED  
HEROES LEAGUE ON PROPERTY OWNED BY DEFENDING THE BLUE  
LINE**

Councilmember \_\_\_\_\_ introduced the following Resolution and moved its adoption:

**WHEREAS**, Marshall Andrews of HTG Architects has applied for Site Plan approval to construct stadium seating holding approximately 1,175 individuals and a +/- 3,450 s.f. locker room facility on property owned by Defending the Blue Line. The facility is operated by United Heroes League and generally located at 15211 Ravenna Trail (PIN 19-035500-14-020) and legally described on Attachment A; and

**WHEREAS**, on June 10, 2024 the Hastings Planning Commission held reviewed the request and recommended approval of the action as presented; and

**WHEREAS**, the City Council reviewed the request and concurs with the recommendation of the Planning Commission.

**NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HASTINGS AS FOLLOWS:**

That the City Council hereby approves the Site Plan as presented to the City Council subject to the following conditions:

1. Conformance with the plans submitted with the City Council Staff Report dated June 17, 2024.
2. Reconfiguration of the rear property line to maintain a minimum 20-foot setback for the stadium seating and locker rooms.
3. Final approval of the Grading, Drainage, Erosion Control, and Utility Plans by the Public Works Director.

4. All disturbed areas on the property shall be stabilized with rooting vegetative cover to eliminate erosion control problems.
5. Disturbed areas of the site shall be maintained to the requirements of the City's property maintenance ordinance.
6. Any uncompleted site work (including landscaping) must be escrowed at 125 percent of the estimated value prior to issuance of a certificate of occupancy.
7. All lighting shall incorporate shields and cut-offs to direct light on the site.
8. Landscape planter schematics, material type, colors, and planted items must be approved prior to issuance of a Building Permit.
9. Equipment screening fence schematics, material type, and color must be approved prior to the building permit
10. The photometric plan must ensure foot candle illumination for the hockey rink and parking lot does not exceed 0.5 foot candles at the property line.
11. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.

Council member \_\_\_\_\_ moved a second to this resolution and upon being put to a vote adopted by those present.

Adopted by the Hastings City Council on June 17, 2024, by the following vote:

Ayes:

Nays:

Absent:

ATTEST:

\_\_\_\_\_  
Mary Fasbender, Mayor

\_\_\_\_\_  
Kelly Murtaugh,  
City Clerk



**Attachment A**  
**Legal Description**  
**PIN 19-03500-14-020**

That part of the West half of the Northeast Quarter of Section 35, Township 115 North, Range 17 West lying south of CSAH No. 54 and east of County Road No. 91; except the south 1,072 feet lying west of the east 275.35 feet; AND

Except that part lying westerly of a line commencing at the intersection of the centerline of CSAH No. 54 and the centerline of County Road 91; thence South 79 degrees, 02 minutes, 08 seconds East on the centerline of CSAH No. 54 a distance of 846 feet to the point of beginning of the line to be described; thence South 10 degrees, 57 minutes, 52 seconds West a distance of 501.37 feet; thence North 79 degrees, 02 minutes, 08 seconds West a distance of 145.11 feet; thence South 10 degrees, 57 minutes, 52 seconds West a distance of 225.32 feet to the north line of the south 1,072 feet of said West Half of the Northeast Quarter, thence terminating; AND

Except the south 200 feet of the east 275.34 feet of said West Half of the Northeast Quarter.

Subject to CSAH No. 54.



## *Planning Commission Memorandum*

**To: Planning Commissioners**

**From: John Hinzman, Community Development Director**

**Date: June 10, 2024**

**Item: United Heroes League (HTG Architects) – Site Plan 2024-24 – Stadium Seats and Locker Room – 15211 Ravenna Trail**

### **Planning Commission Action Requested**

Review and provide a recommendation on the Site Plan application of HTG Architects on behalf of United Heroes League (UHL) to construct stadium seating and locker room facilities at an existing outdoor hockey rink located at 15211 Ravenna Trail. The 13.84-acre parcel is owned by Defending the Blue Line (Shane Hudella) and is part of a 52.86-acre campus owned by Defending the Line and UHL.

### **BACKGROUND INFORMATION**

#### **Comprehensive Plan**

The property is currently guided Agriculture within the 2040 Comprehensive Plan. The Agriculture designation is given to properties that are located outside of the Metropolitan Urban Service Area (MUSA) Boundary where municipal sewer and water facilities are not available. The subject property is outside of the MUSA Boundary.

#### **Zoning**

The property is currently zoned Agriculture. Recreation facilities, including, but not limited to golf courses, pistol and rifle ranges, sportsmen clubs and camping area are identified as “Uses Permitted within the Agriculture District.

#### **History**

Over the last ten years, Defending the Blue Line (now UHL) has purchased property and planned for development of a recreation facilities for family members of veterans. On April 20, 2020 the Council approved an Interim Use Permit (IUP) to allow for development of an obstacle course on the site along with temporary improvements for a gravel parking lot. A new IUP was approved on August 15, 2022 to allow for an extended interim use period. The IUP requires installation of landscaping, permanent restroom, and waste enclosure structures by May 11, 2025.

**Existing Condition**

The site presently contains a parking lot containing 336 spaces, refrigerated outdoor hockey rink, and confidence coarse. The northern portion of the site is relatively treeless with little topographic relief. The southern portion includes a wooded hillside that rises over 100 feet. Proposed improvements are adjacent to the outdoor rink which has been previously graded.

**Future Plans**

A primary building housing offices, warehouse, and indoor athletic spaces is planned north of the hockey rink site. The site will host Hockey Day Minnesota in cooperation with the Minnesota Wild and Bally Sports North in January 2026.

**Adjacent Zoning and Land Use**

The following land uses abut the property:

Direction	Use	Comp Plan District	Zoning District
North	Ravenna Trail Future Wastewater Treatment Plant	Agriculture	A - Agriculture
East	Home – Shane Hudella	Agriculture	A - Agriculture
South	Rural Residential and Open Space	Agriculture	A - Agriculture
West	Former Extreme Sandbox (now owned by UHL)	Agriculture	A - Agriculture

**SITE PLAN REVIEW****Request**

Construction of stadium bleacher seating for 1,175 individuals and a 3,450 s.f. locker room building located under the bleacher seating.

**Vehicular Access and Circulation**

The site is accessed through the existing parking lot to a singular access to Ravenna Trail. Intersection improvements along Ravenna Trail are being evaluated by Dakota County. Improvements may include a turn lane to the site.

**Building Setbacks**

A portion of the site does not meet the 20-foot rear yard setback requirement of the Ag Zoning District. The applicant has agreed to reconfigure the property boundary to achieve the minimum setback requirement. Setbacks to remaining property lines exceed 100 feet.

**Parking**

The number of parking spaces is acceptable as follows:

Use	Required Spaces	Provided Spaces
Recreation – Participant Spectator	294 (1 per 4 seats)	336

**Architectural Elevations**

The locker room is located underneath the stadium with only the sides and rear visible. Exterior materials are primarily a decorative concrete tip up panel.

**Landscape Plan**

Landscape planters are proposed in conjunction with the improvements. The applicant must provide the the schematics, material type, colors, and what will be planted as a condition of approval. Landscaping for the existing parking lot is required to be installed by May 11, 2025.

**Equipment Screening Fence**

Schematics, material type, and color of the proposed equipment screening fence must be approved prior to the building permit.

**Private Utilities**

Municipal sewer and water service is an available at the site. Potential construction of Metropolitan Council's Waste Water Treatment Plant would bring utilities to the site. The site will utilize a private well and septic system.

**Lighting Plan**

A Photometric Plan has been submitted for both the parking lot and hockey rink. The parking lot adheres to the 0.5 footcandle illumination limit at the property line. The hockey rink lighting exceeds maximum candle illumination at the property line and must be modified to not exceed 0.5 foot candles.

**Grading, Drainage, Erosion Control and Utility Plan Review**

The Public Works Department is providing concurrent review of the Grading, Drainage, Erosion Control, and Utility Plans. Site Plan approval shall be conditioned upon final approval of the Grading, Drainage, Erosion Control and Utility Plan by the Public Works Director.

**Hockey Day Minnesota 2026**

The site will host Hockey Day Minnesota in January, 2026. City staff continues to work with UHL to plan for the additional increase of individuals and impacts for the event.



**RECOMMENDATION**

Approval of the Site Plan is recommended subject to the following conditions:

1. Conformance with the plans submitted with the Planning Commission Staff Report dated June 10, 2024.
2. Reconfiguration of the rear property line to maintain a minimum 20-foot setback for the stadium seating and locker rooms.
3. Final approval of the Grading, Drainage, Erosion Control, and Utility Plans by the Public Works Director.
4. All disturbed areas on the property shall be stabilized with rooting vegetative cover to eliminate erosion control problems.
5. Disturbed areas of the site shall be maintained to the requirements of the City's property maintenance ordinance.
6. Any uncompleted site work (including landscaping) must be escrowed at 125 percent of the estimated value prior to issuance of a certificate of occupancy.
7. All lighting shall incorporate shields and cut-offs to direct light on the site.
8. Landscape planter schematics, material type, colors, and planted items must be approved prior to issuance of a Building Permit.
9. Equipment screening fence schematics, material type, and color must be approved prior to the building permit
10. The photometric plan must ensure foot candle illumination for the hockey rink and parking lot does not exceed 0.5 foot candles at the property line.
11. Approval is subject to a one-year Sunset Clause; if significant progress is not made towards the proposal within one year of City Council approval, the approval is null and void.

**ATTACHMENTS**

- Site Location Map
- Site Pictures
- Site Plan
- Civil Plans
- Architectural Elevations
- Application

LOCATION MAP





# UNITED HEROES LEAGUE NEW CONSTRUCTION HASTINGS, MN

**OWNER:**

UNITED HEROES LEAGUE  
15211 RAVENNA TRAIL  
HASTINGS, MN 55033  
tel: (651) 318-0131  
CONTACT: SHANE HUEDELLA  
EMAIL: shane@unitedheroesleague.org

**ARCHITECT:**

HTG ARCHITECTS  
1010 MAIN STREET, SUITE 100  
HOPKINS, MN, 55343  
tel: (952) 218-8880  
CONTACT: TOM MOORSE  
EMAIL: tmoorse@htg-architects.com  
CONTACT: Marshall Andrews  
EMAIL: mandrews@htg-architects.com

**CIVIL ENGINEER:**

ANDERSON ENGINEERING  
OF MINNESOTA, LLC  
13605 1ST AVE N, SUITE 100  
PLYMOUTH, MN 55441  
tel: (763) 412-4038  
Contact: Jacob Dobias

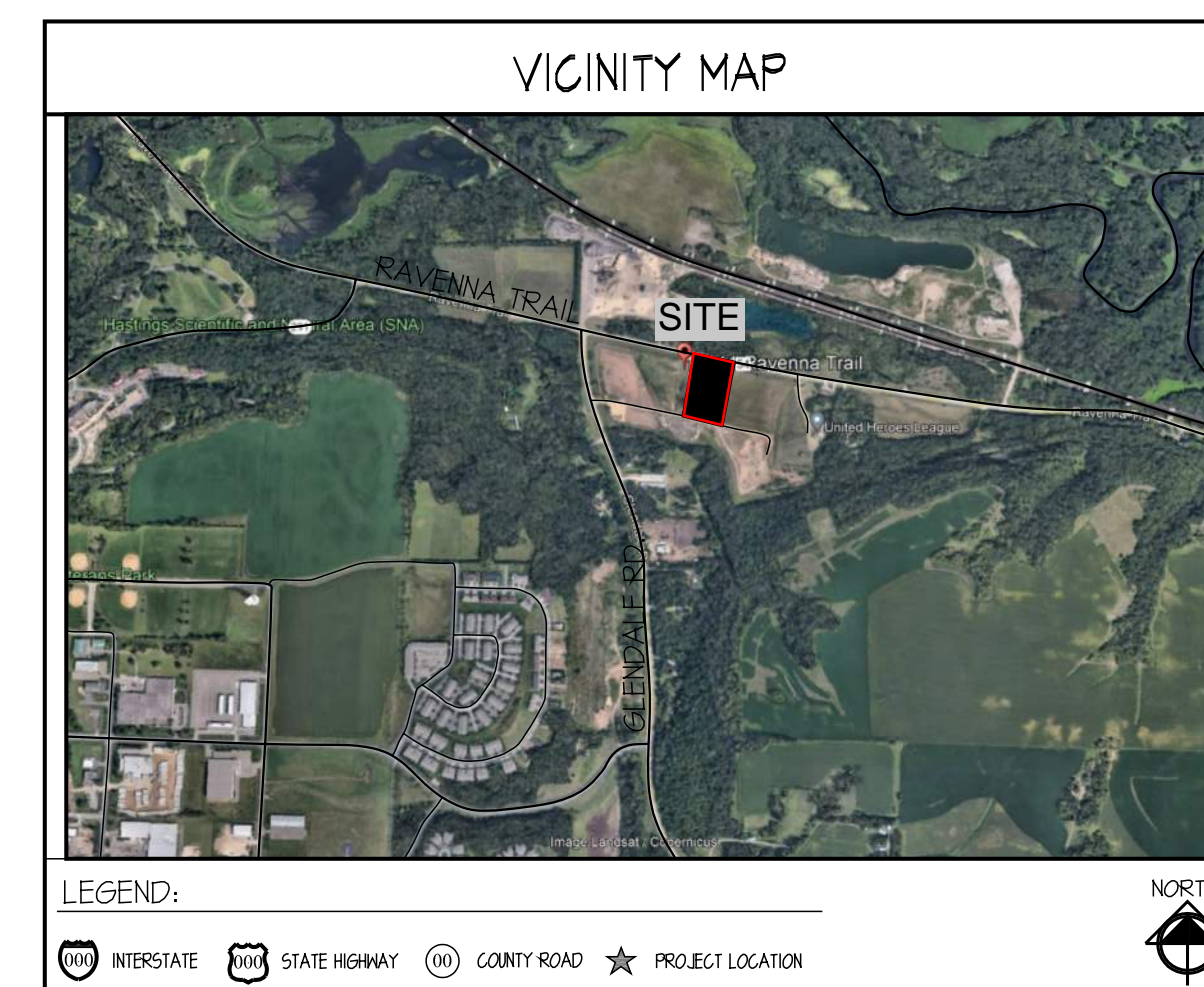
**STRUCTURAL ENGINEER:**

INNOVATIVE STRUCTURAL SOLUTIONS, PA  
5214 KYLER AVENUE NE.  
ALBERTVILLE, MINNESOTA 55301  
tel: (763) 425-9960  
CONTACT: MICHAEL VAN DE RIET, P.E.  
EMAIL: mvanderiet@isseng.com

**CONTRACTOR:**

DORAN COMPANIES  
7803 GLENROY ROAD, SUITE 200  
BLOOMINGTON, MN 55434-3126  
tel: (952) 641-9413  
CONTACT: BRENT LINDSTROM  
EMAIL: brent.lindstrom@dorancompanies.com

DRAWING INDEX	
TS	COVER PAGE
L1	PARKING LOT LIGHTING PHOTOMETRIC
L2	ARENA LIGHTING PHOTOMETRIC
V-100	EXISTING CONDITIONS SURVEY
CS-100	OVERALL CONCEPT SITE PLAN
CS-101	ENLARGED CONCEPT SITE PLAN
CG-100	GRADING PLAN
CU-100	UTILITY PLAN
C-501	CIVIL DETAILS
C-502	HOLDING TANK DETAILS
A0.1	BUILDING PLAN & CODE INFORMATION
A1.1	SITE PLAN & SITE DETAILS
A2.1	FLOOR PLAN, SCHEDULES & NOTES, DOOR FRAME ELEVATIONS AND DETAILS
A2.2	BLEACHER SEATING FLOOR PLAN



www.htg-architects.com  
Minneapolis Bismarck

1010 Mainstreet, Suite 100  
Hopkins, MN, 55343  
Tel: 952.278.8880

**PROJECT**

**UNITED HEROES LEAGUE  
STADIA & LOCKER ROOMS**



**ISSUED SET**

**REVISIONS**

DATE	NO.	CONCEPT PLAN REVIEW
04.09.2024		
05.21.2024		DRC REVIEW

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF

REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

**COVER PAGE**

DRAWN BY: CAW CHECKED BY: MA

**TS**



ts-241119.dwg, Mar 13, 2024 - 1:28pm



1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30' A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Egress calc points @ 0' A.F.F.
6. Mazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts_1	Illuminance	Fc	0.83	4.6	0.0	N.A.
PARKING LOT	Illuminance	Fc	2.18	4.6	0.8	2.73

Luminaire Schedule									
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF	
	2	SP1		PRV-PA2B-740-U-T4W	Single	19431	151	0.900	
	9	SP2		PRV-PA2B-740-U-5WQ	Back-Back	20332	151	0.900	

MLAZGAR ASSOCIATES  
10340 VIKING DR.  
SUITE 150  
EDEN PRAIRIE, MN 55344  
(P) 952-943-8080  
(F) 952-943-8088  
www.mlazgar.com

X-C-02

#	Date	Comments

Revisions

RIMA Project #: 148118  
Drawn By: BS  
Date: 8/17/2023  
Scale: 1" = 25'

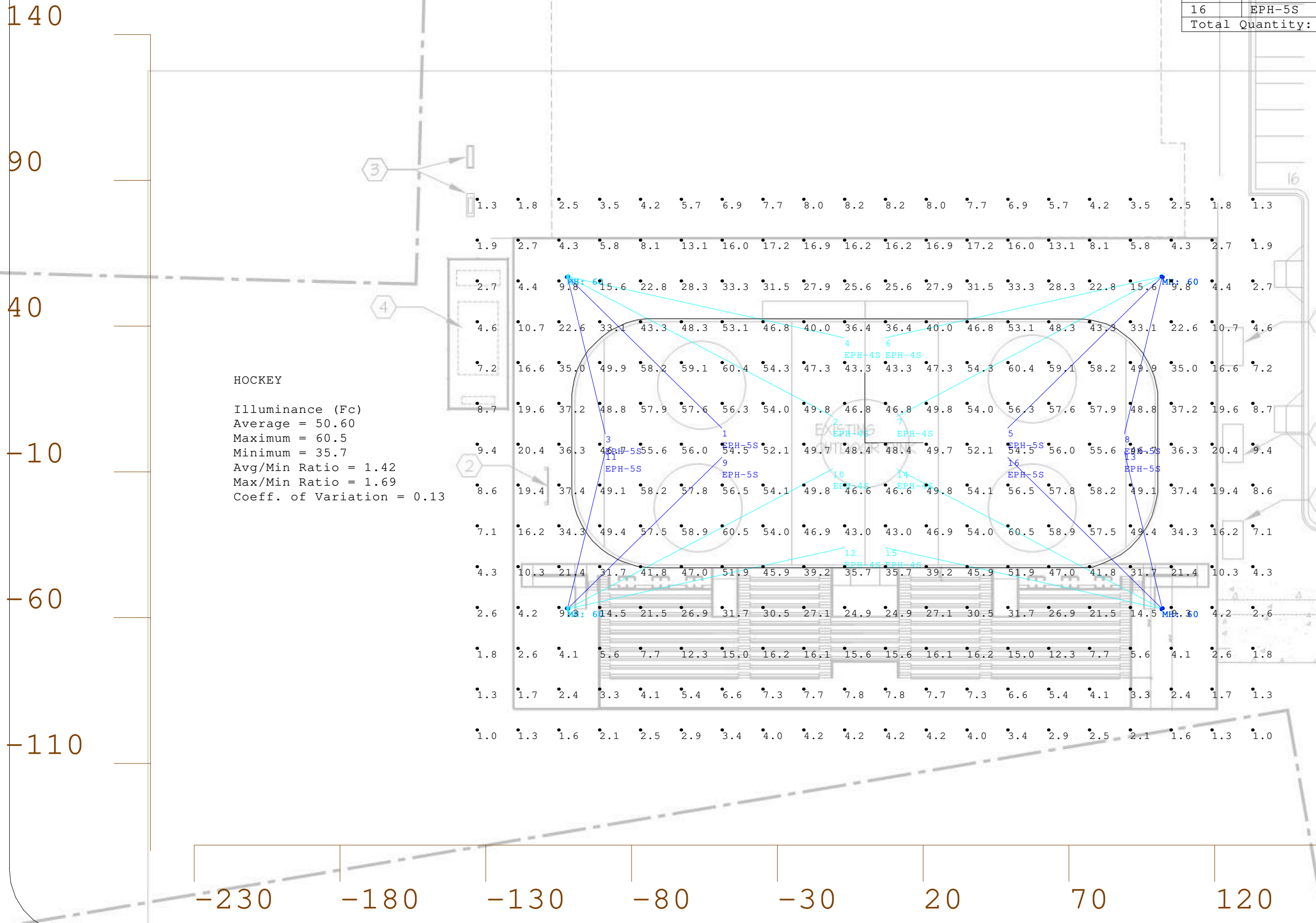
**PHOTOMETRIC**  
UNITED HEROES LEAGUE NEW RINK  
HASTINGS, MN

Page L1

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Total Watts
⊙	8	EPH-5S	Single	109206	0.920	EPH-08-680R-57-70-5S-HEG-S	697.5	5580
⊙	8	EPH-4S	Single	108978	0.920	EPH-08-680R-57-70-4S-HEG-S	697.5	5580

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
HORIZONTAL	Illuminance	Fc	25.35	60.5	1.0	60.5
HOCKEY	Illuminance	Fc	50.60	60.5	35.7	1.69

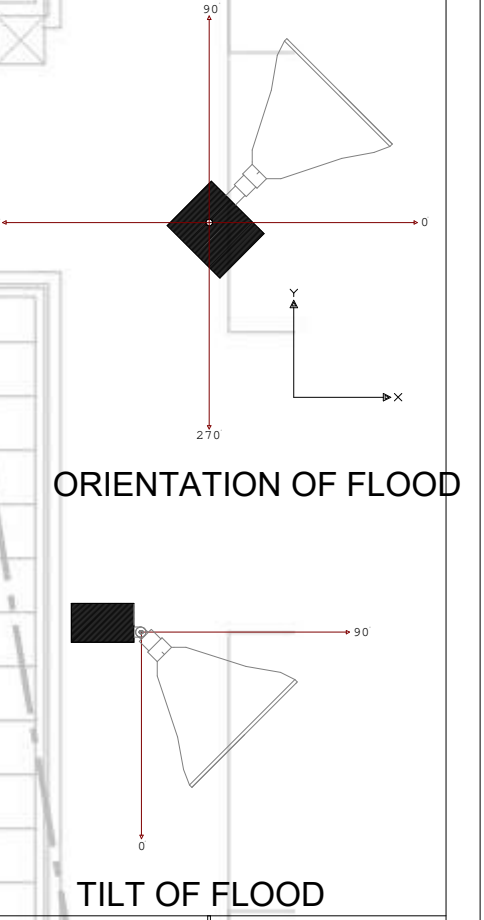
Expanded Luminaire Location Summary								
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt
1	EPH-5S	-102	57	60	315.546	51.059	-49	5
2	EPH-4S	-102	57	60	332.19	59.75	-11	9
3	EPH-5S	-102	57	60	283.536	42.791	-89	3
4	EPH-4S	-102	57	60	347.535	58.338	-7	36
5	EPH-5S	102	57	60	224.454	51.059	49	5
6	EPH-4S	102	57	60	192.465	58.338	7	36
7	EPH-4S	102	57	60	207.81	59.75	11	9
8	EPH-5S	102	57	60	256.464	42.791	89	3
9	EPH-5S	-102	-57	60	44.454	51.059	-49	-5
10	EPH-4S	-102	-57	60	27.81	59.75	-11	-9
11	EPH-5S	-102	-57	60	76.464	42.791	-89	-3
12	EPH-4S	-102	-57	60	12.465	58.338	-7	-36
13	EPH-5S	102	-57	60	103.536	42.791	89	-3
14	EPH-4S	102	-57	60	152.19	59.75	11	-9
15	EPH-4S	102	-57	60	167.535	58.338	7	-36
16	EPH-5S	102	-57	60	135.546	51.059	49	-5
Total Quantity: 16								



HOCKEY  
 Illuminance (Fc)  
 Average = 50.60  
 Maximum = 60.5  
 Minimum = 35.7  
 Avg/Min Ratio = 1.42  
 Max/Min Ratio = 1.69  
 Coeff. of Variation = 0.13

Lighting Application drawings are being provided to the recipient of this document. The recipient understands that the recipient is responsible for the accuracy of the information provided. The recipient agrees to hold the designer harmless for any errors or omissions in the drawings. The recipient agrees to hold the designer harmless for any errors or omissions in the drawings. The recipient agrees to hold the designer harmless for any errors or omissions in the drawings.

SPORTS	Lighted Area	Class of Play											
		I - over 5000 spectators			II - some spectators			III - no spectators			IV - no spectators		
		Horiz FC	Max /Min	CV	Horiz FC	Max /Min	CV	Horiz FC	Max /Min	CV	Horiz FC	Max /Min	CV
Baseball & Softball	Infield	150	1.31	0.07	100	1.51	0.10	50	2.1	0.17	30	2.51	0.21
	Outfield	100	1.71	0.13	75	2.1	0.17	30	2.51	0.21	20	3.1	0.25
Football		100	1.71	0.13	50	2.1	0.17	30	2.51	0.21	20	3.1	0.25
Rodeo		100	1.71	0.17	75	2.1	0.17	50	2.51	0.21	30	3.1	0.25
Soccer		75	1.71	0.13	50	2.1	0.17	30	2.51	0.21	20	3.1	0.25
Tennis		150 Avg	1.51	0.10	75 Avg	1.71	0.13	50 Avg	2.1	0.17	30 Avg	2.51	0.21
Track Field			30	3.1	0.25	30	4.1	0.30	20	4.1	0.30	20	4.1
Volleyball & Basketball			50	3.1	0.21	30	4.1	0.30	20	4.1	0.30	20	4.1



Dylan Mooney  
 Mlazar Associates

PROJECT NAME:  
 EPH4814 - United Heros  
 League Athletic Complex  
 - Hockey

PROJECT NO:  
 2400479 - Option 2 CY, AGI  
 Date: 4/18/2024  
 Scale: 1" = 30'





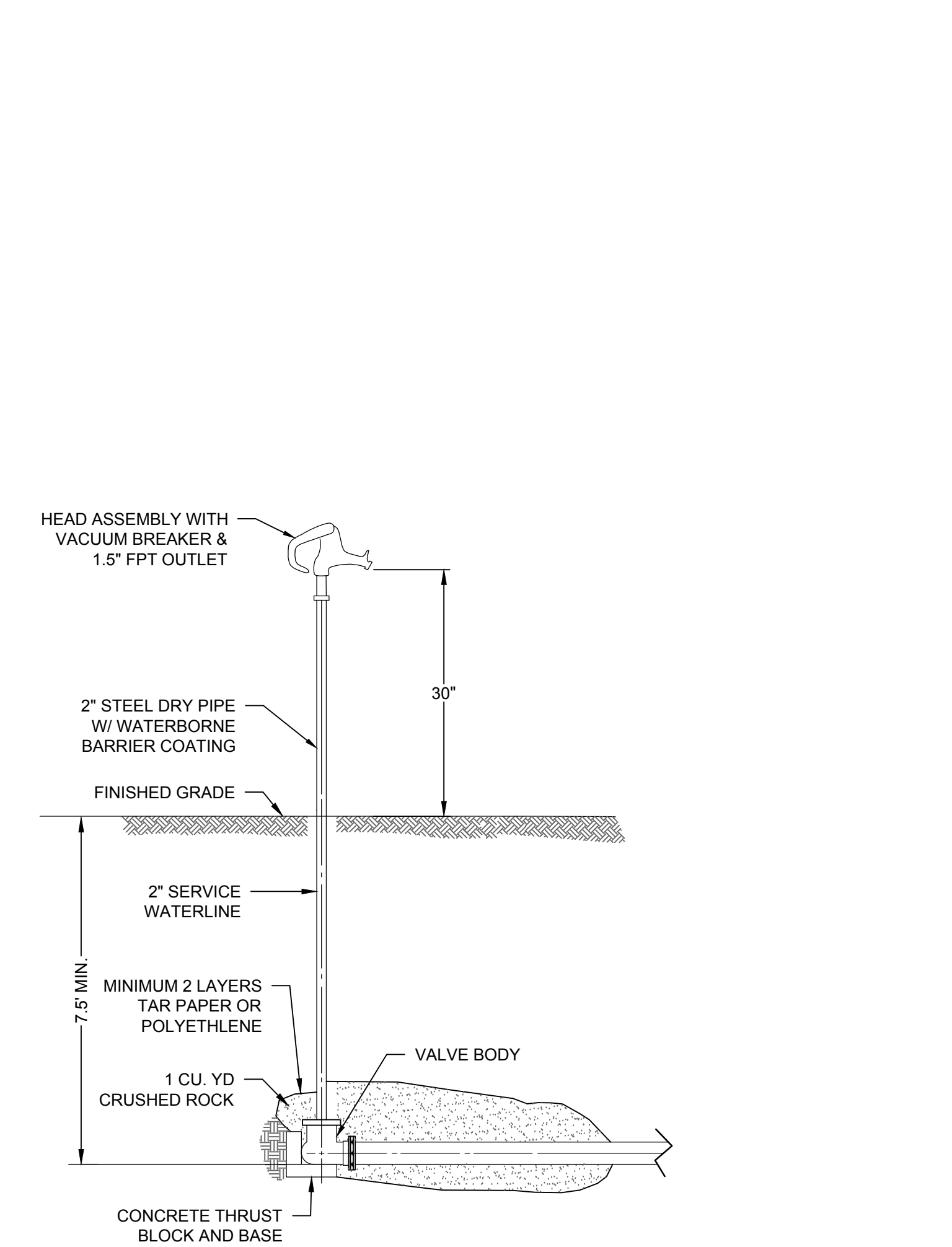
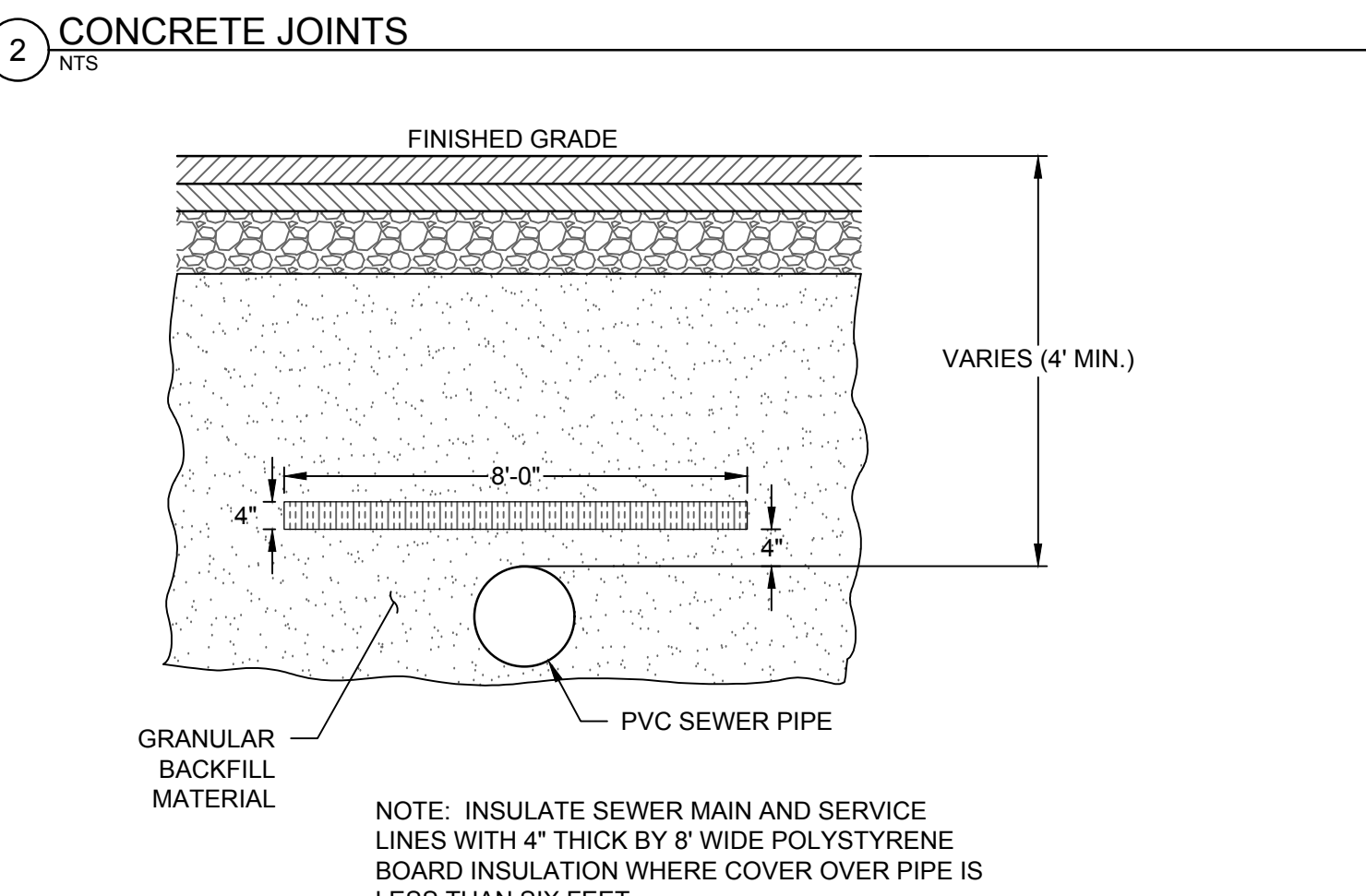
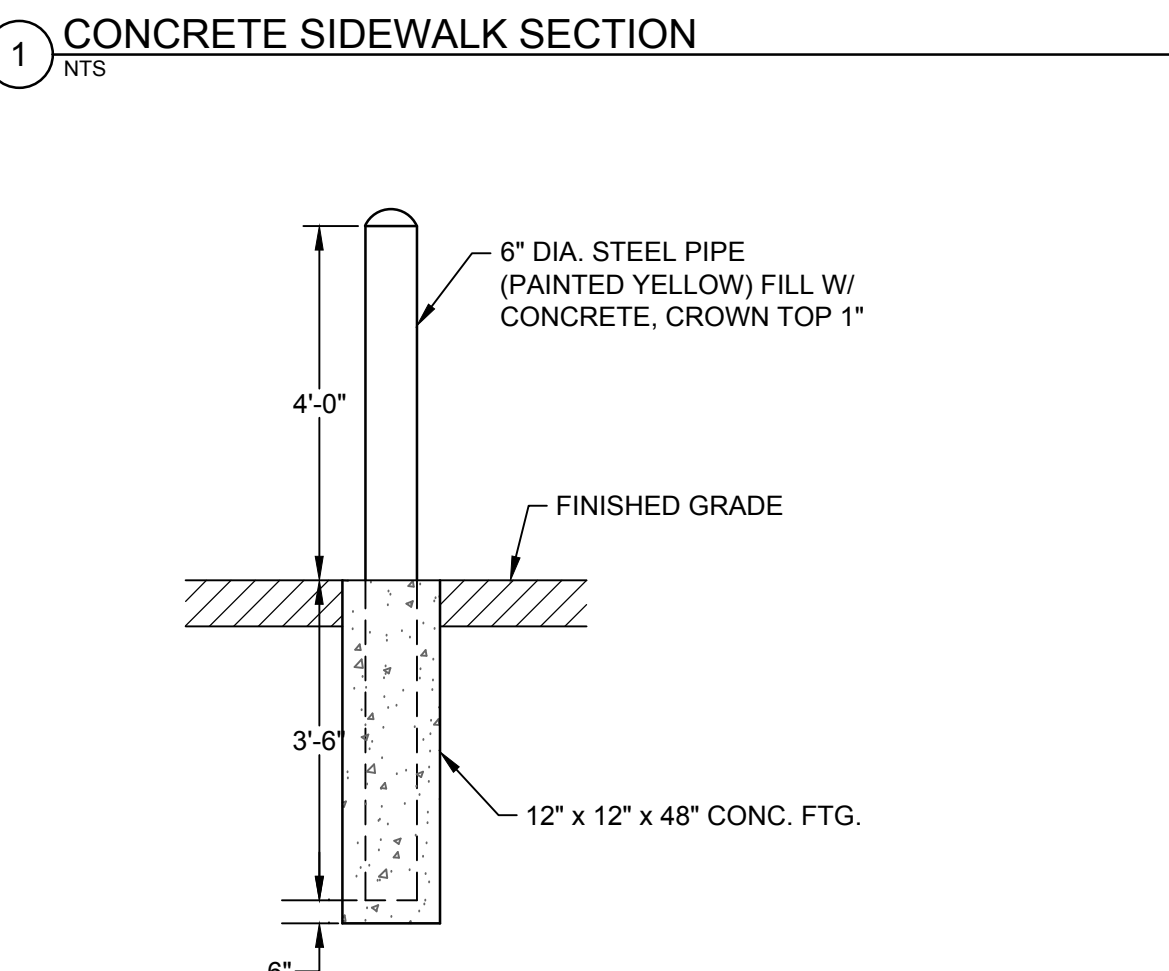
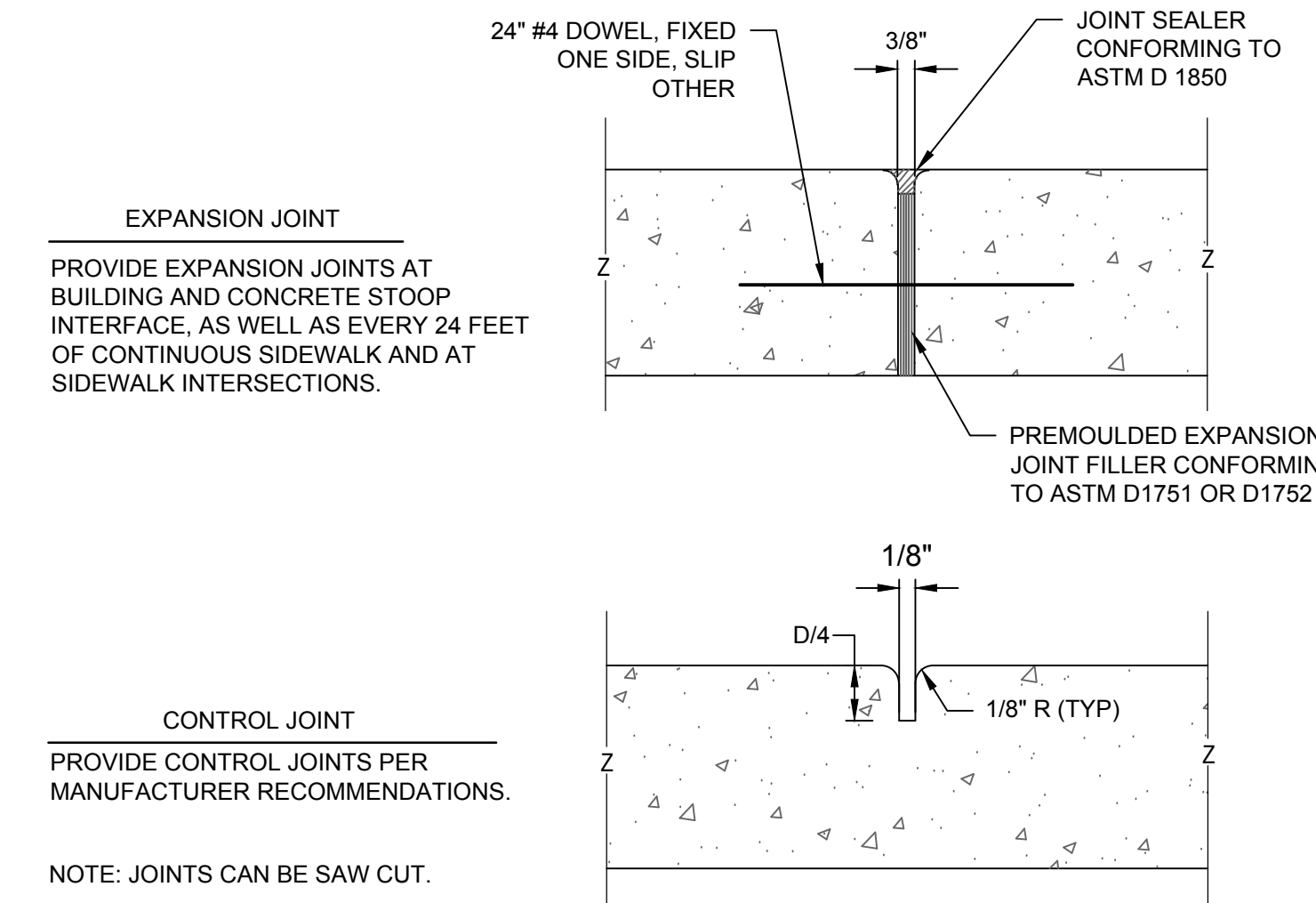
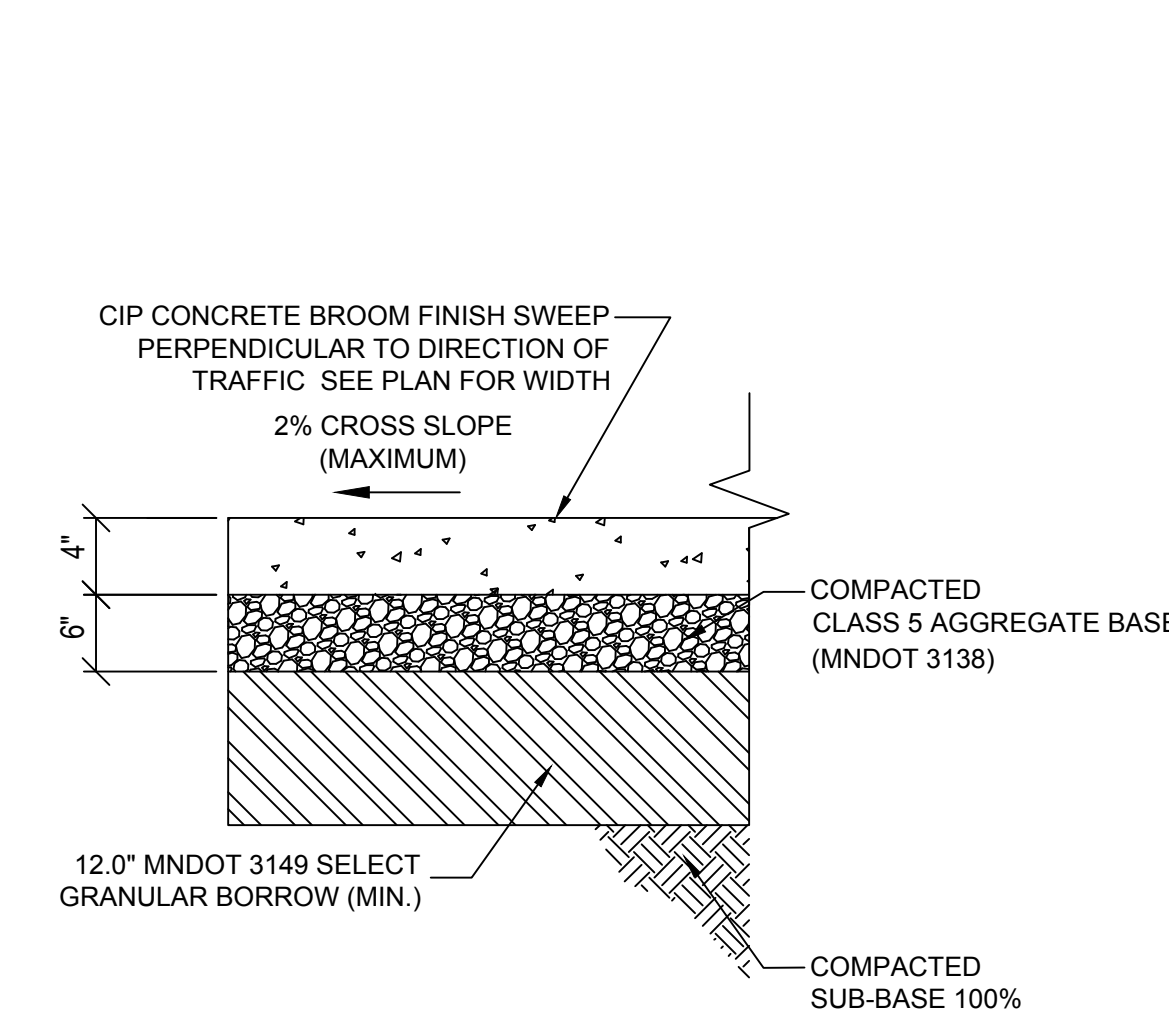
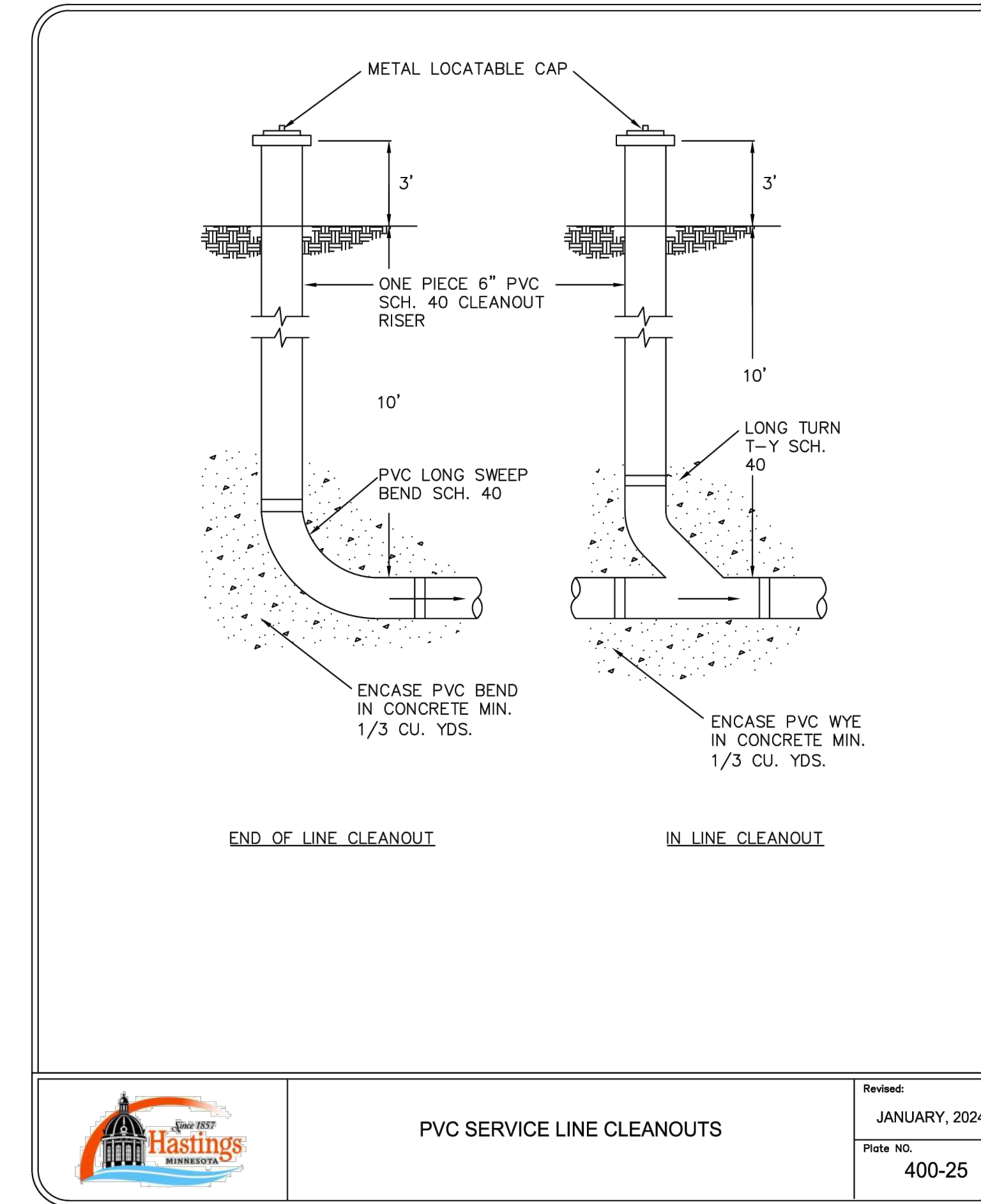
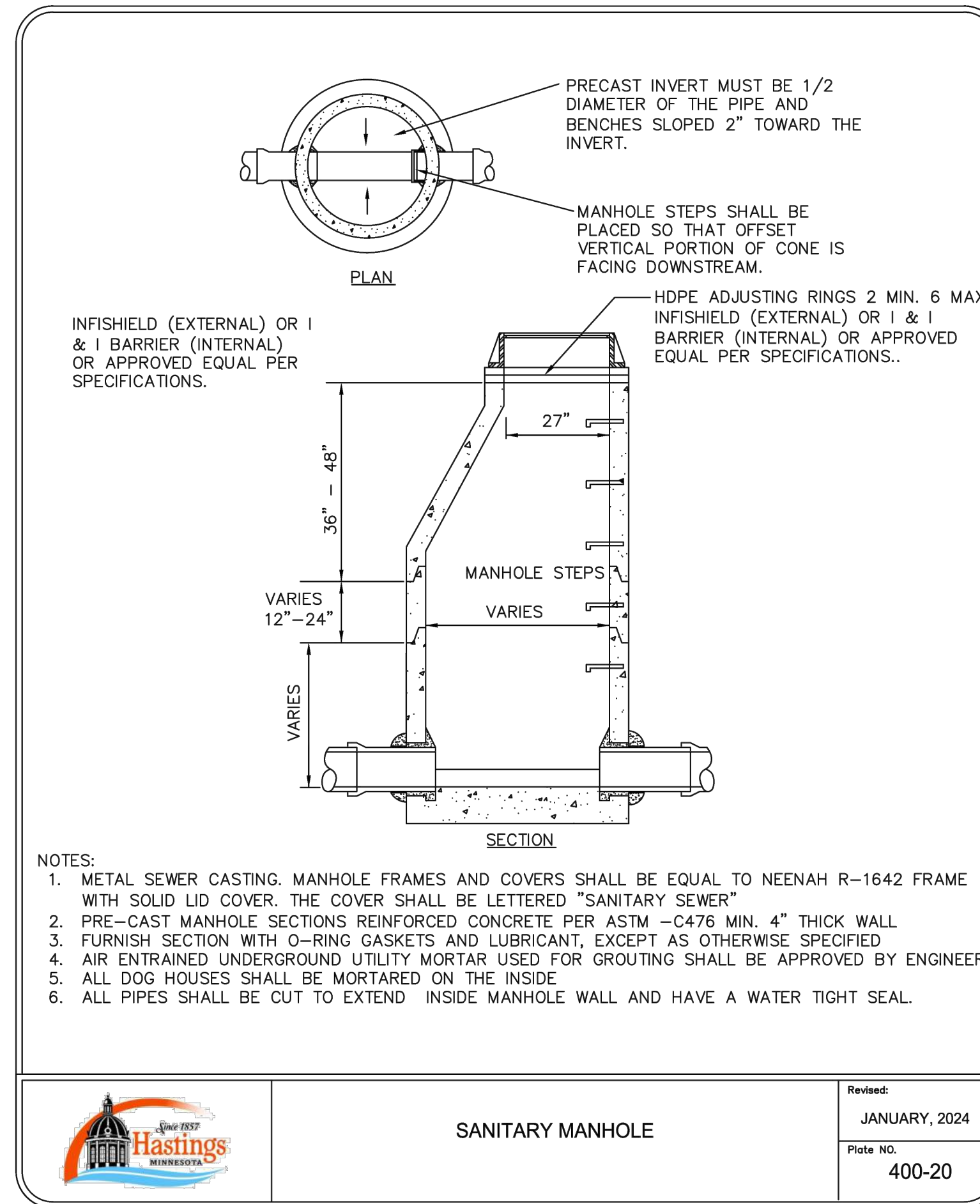
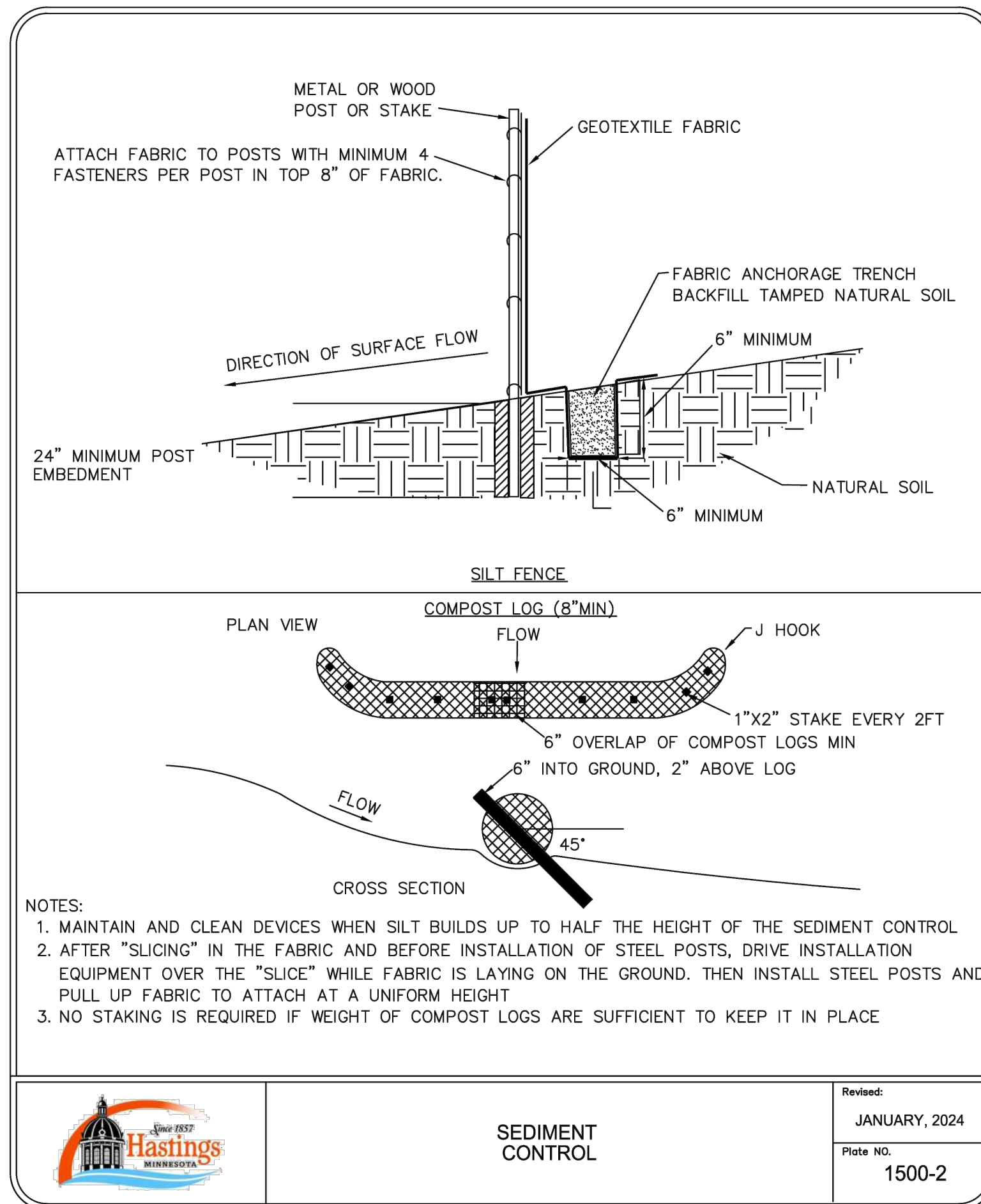












www.htg-architects.com  
Minneapolis Bismarck

1010 Mainstreet, Suite 100  
Hopkins, MN 55343  
Tel: 952.278.8880

PROJECT

UNITED HEROES LEAGUE  
STADIA & LOCKER ROOMS



UNITED HEROES  
LEAGUE

ISSUED SET  
REVISIONS  
DATE NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION  
JEFFREY W. DEITNER, PLA

51899 05/14/2024  
REG. NO. DATE



13605 1st Avenue N. #100  
Plymouth, MN 55441 | ae-mm.com  
P 763.412.4000 | F 763.412.4099  
Anderson Engineering of Minnesota, LLC

CIVIL DETAILS

DRAWN BY: JPD CHECKED BY: JD

C-501





PROJECT

**UNITED HEROES LEAGUE  
 STADIA & LOCKER ROOMS**



**UNITED HEROES  
 LEAGUE**

ISSUED SET

REVISIONS

DATE	NO.	CONCEPT PLAN REVIEW
04.09.2024		
05.21.2024		DRC REVIEW

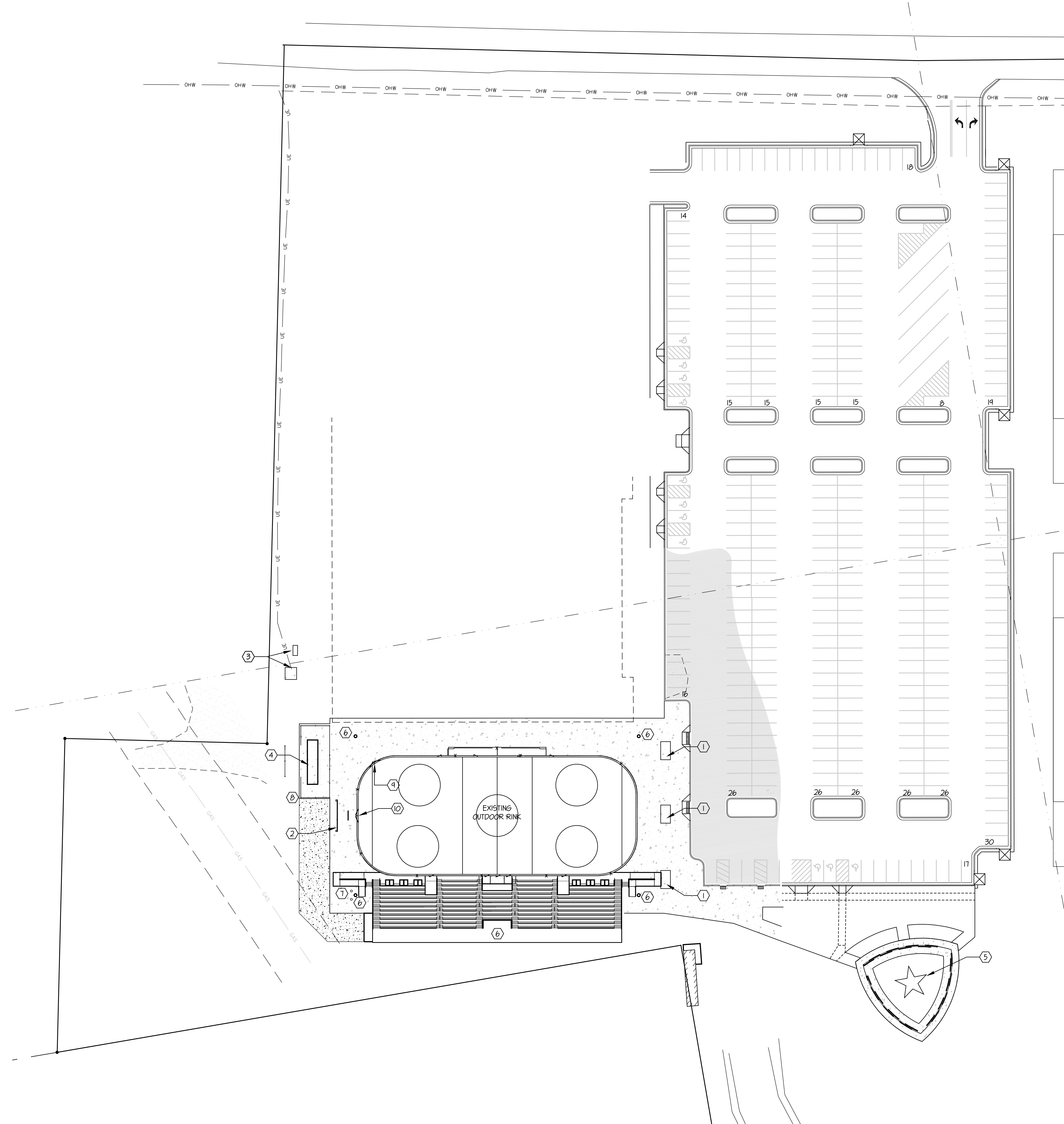
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF

REG. NO. DATE

SITE PLAN & SITE DETAILS

DRAWN BY: CAW CHECKED BY: MA

**A1.1**



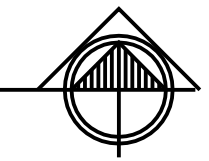
**GENERAL NOTES:**

- ALL SITE GRADING TO BE DONE PER CIVIL DRAWINGS. SLOPE SIDEWALKS & GRADE AWAY FROM BUILDING TYP.
- VERIFY & LOCATE ALL UNDERGROUND PHONE & UTILITY LINES PRIOR TO ANY EXCAVATION.
- SEE CIVIL & MECH/ELEC. DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE UTILITIES.
- BARRICADE OFF CONSTRUCTION AREA AS REQUIRED KEEP CONSTRUCTION AREA TO MINIMUM.
- SLOPE SIDEWALKS & GRADE AWAY FROM BUILDING TYPICAL 1:20 MAX. SLOPE.
- MATCH NEW CONSTRUCTION WITH EXISTING WHEREVER NECESSARY (ie. CONC., CURBS, CONC. WALKS, PAVING, etc.).
- MATCH/IE NEW GRADING INTO EXISTING GRADING.
- CUT & PATCH EXISTING BITUMINOUS PAVING, CONC. CURBS & SIDEWALKS TO MATCH EXISTING.
- ALL MECHANICAL & ELECTRICAL EXPOSED PIPING, GRILLES, CONDUITS, etc. TO BE PAINTED.
- INSTALL CONDUIT PRIOR TO GEOFABRIC/GRAVEL. COORDINATE WITH G.C. & EARTHWORK SUBCONTRACTOR.

**SITE PLAN KEYED NOTES:**

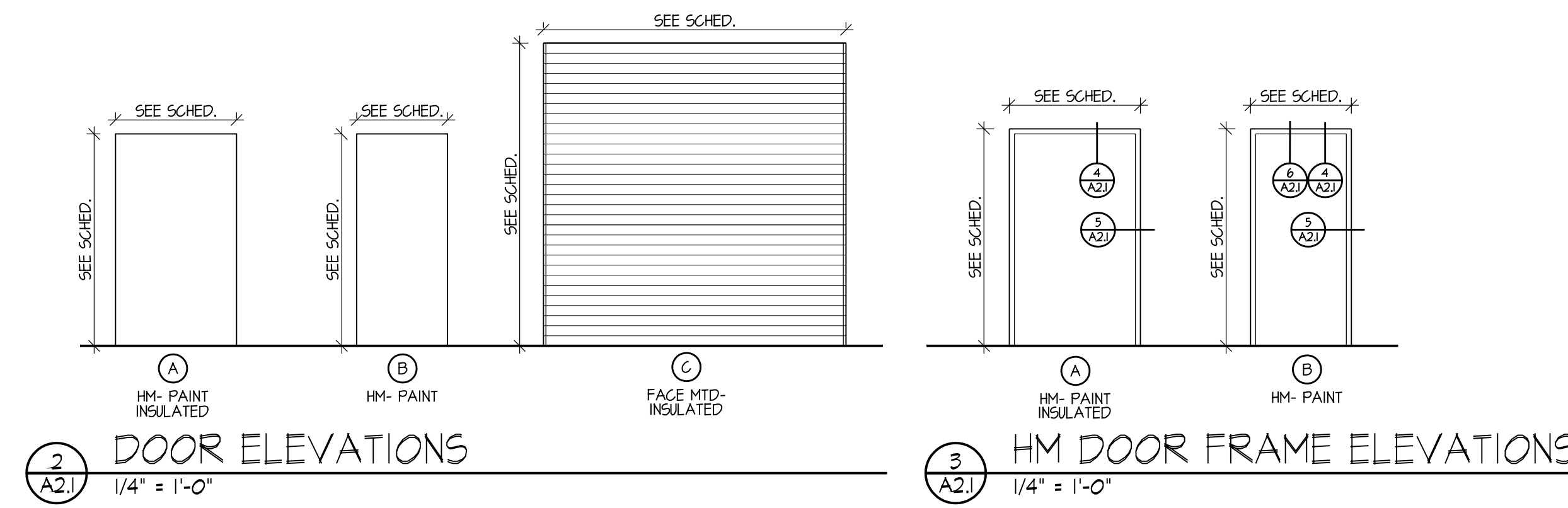
- 1 PLANTER
- 2 SCOREBOARD
- 3 EXISTING TRANSFORMERS
- 4 EXISTING REFRIGERATION EQUIPMENT
- 5 EXISTING UHL MONUMENT
- 6 STADIUM LIGHTS ON CONCRETE BASE
- 7 CONCRETE BOLLARDS
- 8 FENCE - EQUIPMENT SCREENING
- 9 REMOVE EXISTING ZAMBONI DOOR
- 10 RELOCATE ZAMBONI DOOR TO CENTER OF RINK
- 11 PHASE 2- PRECAST CONCRETE STADIUM SEATING AND METAL RAMPS

**SITE PLAN**  
 1"=40'-0"

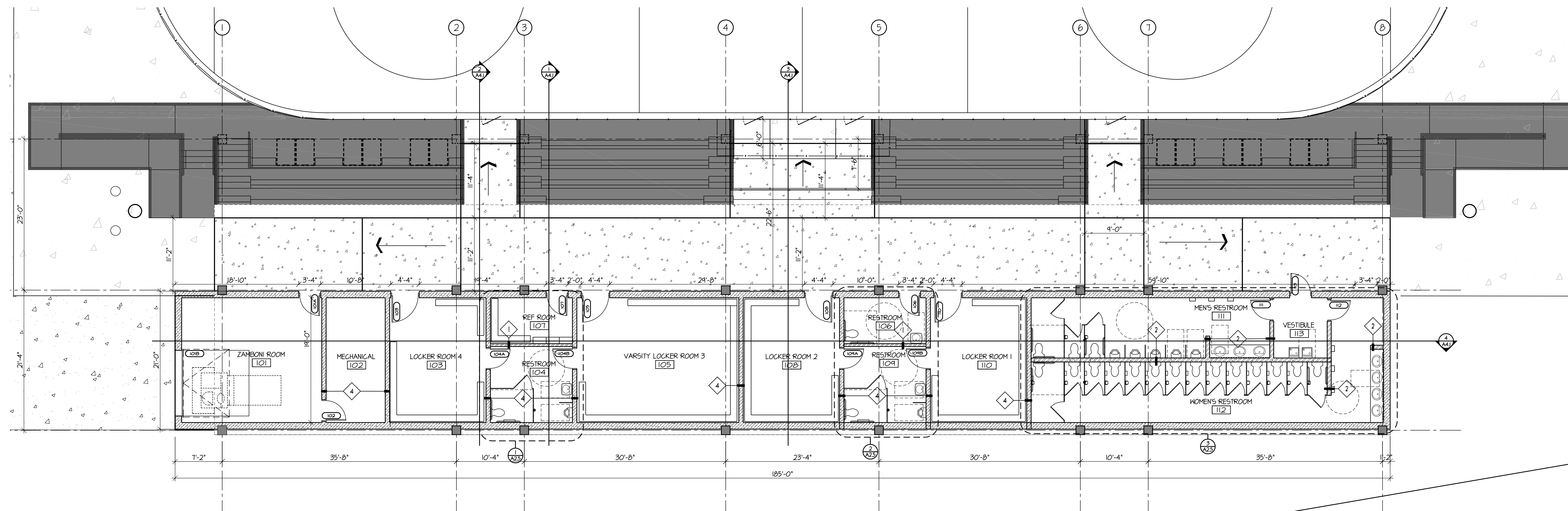
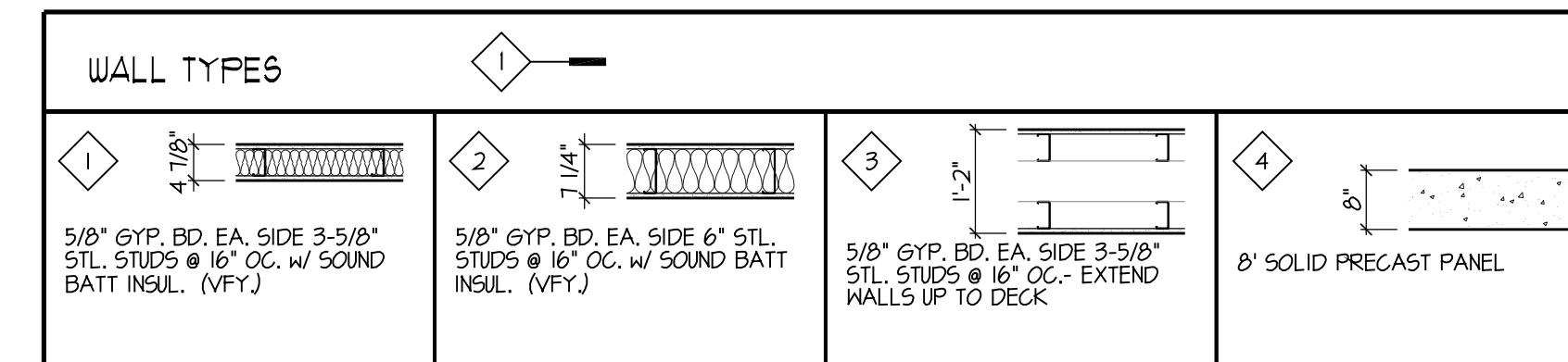


5/24/19.dwg May 14, 2024 - 11:14am

DOOR SCHEDULE:								
NO	DOOR SIZE	DOOR		FRAME		RATING	HARDWARE	NOTES
		MATL.	TYPE	MATL.	TYPE			
101A	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	I-HR	--	--
101B	10'-0" x 10'-0"	HM	2C/A2.1	--	--	I-HR	--	--
102	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--
103	4'-0" x 7'-0"	HM	2A/A2.1	HM	3A/A2.1	I-HR	--	--
104A	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--
104B	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--
105	4'-0" x 7'-0"	HM	2A/A2.1	HM	3A/A2.1	I-HR	--	--
106	3'-0" x 7'-0"	HM	2B/A2.1	HM	3A/A2.1	I-HR	--	--
107	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	I-HR	--	--
108	4'-0" x 7'-0"	HM	2A/A2.1	HM	3A/A2.1	I-HR	--	--
109A	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--
109B	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--
110	4'-0" x 7'-0"	HM	2A/A2.1	HM	3A/A2.1	I-HR	--	--
111	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	I-HR	--	--
112	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	I-HR	--	--
113	3'-0" x 7'-0"	HM	2B/A2.1	HM	3B/A2.1	--	--	--



ROOM FINISH SCHEDULE:																
NO.	ROOM NAME	FLOOR		BASE		WALLS								CEILING		REMARKS
		MATL.	FINISH	MATL.	FINISH	NORTH		SOUTH		EAST		WEST		MATL.	FINISH	
101	ZAMBONI ROOM	CONC	-	-	-	-	-	PT	-	PT	-	PT	EXP	-		
102	MECHANICAL	CONC	-	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
103	LOCKER ROOM 4	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
104	RESTROOM	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
105	VARSITY LOCKER ROOM 3	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
106	RESTROOM	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
107	REF ROOM	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
108	LOCKER ROOM 2	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
109	RESTROOM	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
110	LOCKER ROOM 1	CONC	RF	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
111	MEN'S RESTROOM	CONC	POL	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
112	WOMEN'S RESTROOM	CONC	POL	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	
113	VESTIBULE	CONC	POL	-	-	-	PT	-	PT	-	PT	-	PT	EXP	-	



A2.1 FLOOR PLAN  
1/8" = 1'-0"



www.htg-architects.com  
Minneapolis Bismarck

1010 Mainstreet, Suite 100  
Hopkins, MN, 55343  
Tel: 952.278.8880

PROJECT  
**UNITED HEROES LEAGUE**  
**STADIA & LOCKER ROOMS**



ISSUED SET  
REVISIONS  
DATE NO.  
04.09.2024 CONCEPT PLAN REVIEW  
05.21.2024 DRC REVIEW

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF

REG. NO. DATE

FLOOR PLAN, DOOR FRAME ELEVATIONS AND DETAILS

ml-241119.dwg May 14, 2024 - 10:10am

DRAWN BY: CAW CHECKED BY: TRM

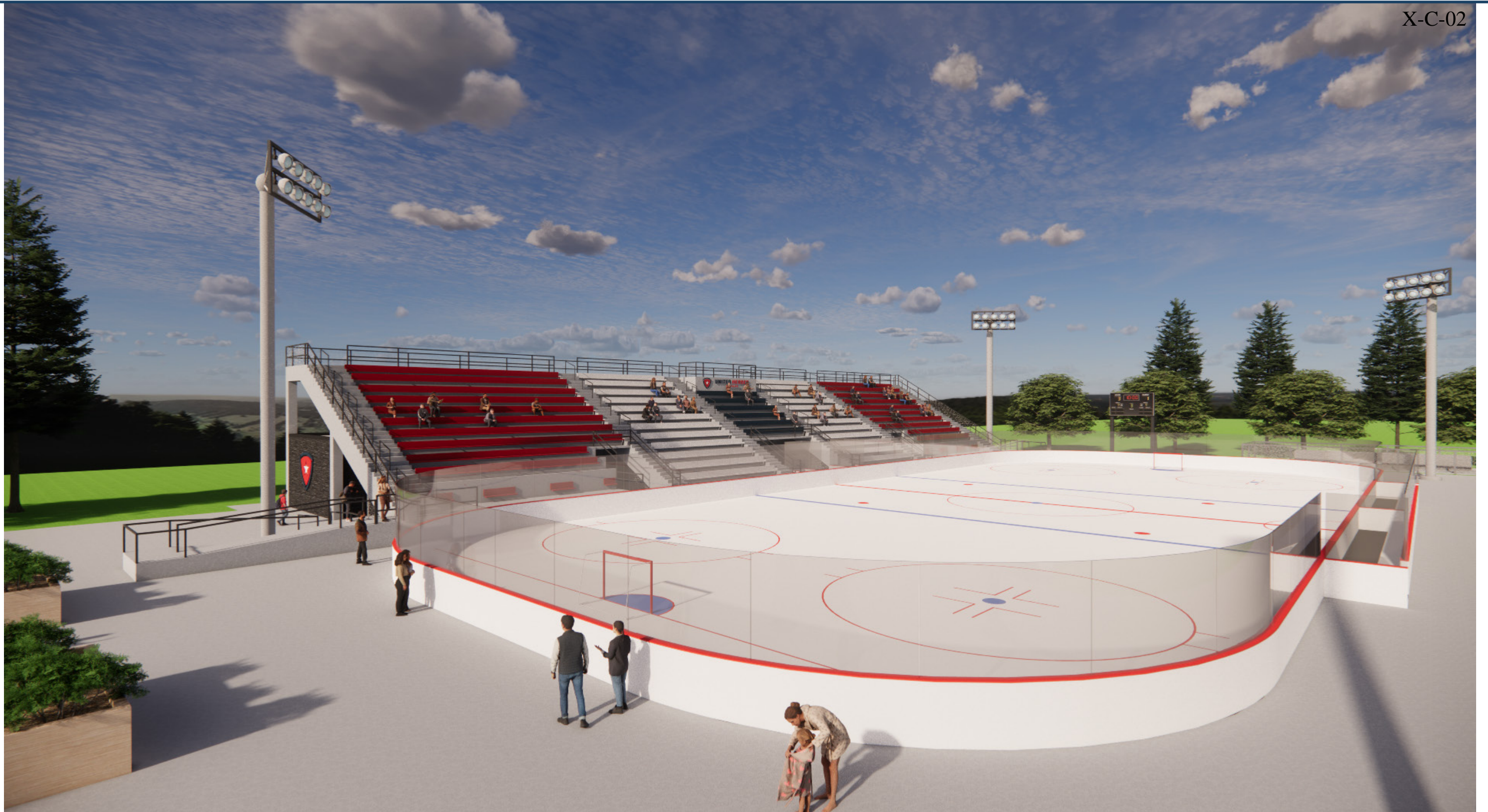
**A2.1**

241119 ML-231143  
COPYRIGHT © BY HTG ARCHITECTS

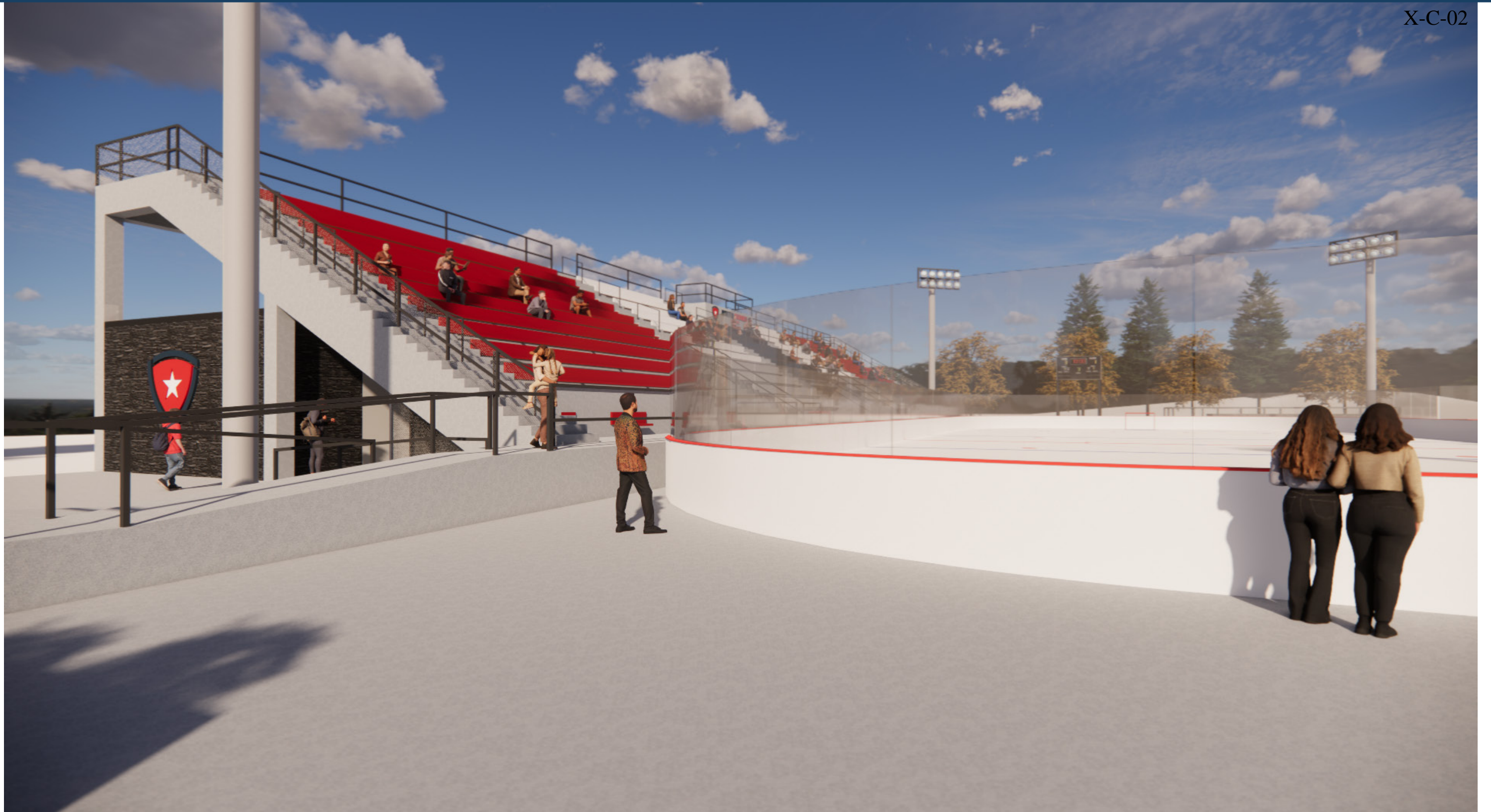
















#24-24  
X-C-02



# City of Hastings Community Development Department

## Land Use Application

Address or PID of Property: 15211 Ravenna Trail, Hastings MN

Applicant Name: Marshall Andrews - HTG Architects

Address: 1010 Mainstreet Suite 100  
Hopkins, MN 55343

Phone: (952) 278-8880

Fax: n/a

Email: mandrews@htg-architects.com

Property Owner: Shane Hudella - United Heroes

Address: 15215 Ravenna Trail, Hastings MN  
Hastings MN 55033

Phone: (651) 319-0737

Fax: n/a

Email: shaneh@unitedheroesleague.org

Description of Request: Site plan review for construction and modifications to the United Heroes rink and site. To accommodate the construction of locker / restroom structure and seating. Phase 1 - Install site utilities to service the existing arena and the proposed project. Construct locker room / restroom building and infrastructure for concrete stadia seating structure. Install site lighting. Phase 2 - Erect and construct stadia structure and seating accessories.

If requesting site plan review of multi-family units (three or more attached), are the units intended to be for sale or rental units? \_\_\_\_\_

Check Applicable Line(s) Please Note: All Fees and Escrows are due at time of application.

<input type="checkbox"/> Rezone	\$500	<input type="checkbox"/> Minor Subdivision	\$500
<input type="checkbox"/> Final Plat	\$600	<input type="checkbox"/> Special Use Permit	\$500
<input type="checkbox"/> Variance	\$300	<input type="checkbox"/> Comp Plan Amend.	\$500
<input type="checkbox"/> Vacation	\$500	<input type="checkbox"/> Lot Split/Lot Line Adj.	\$75
<input type="checkbox"/> House Move	\$500	<input type="checkbox"/> Annexation	\$500 + \$5,000 escrow
<input type="checkbox"/> Prelim Plat	\$500 + \$5,000 escrow	<input type="checkbox"/> EAW	\$500 + \$5,000 escrow
<input checked="" type="checkbox"/> Site Plan	\$500 + \$5,000 escrow	<input type="checkbox"/> Interim Use Permit	\$500

Total Amount Due: \$ 5,500

Make checks payable to City of Hastings.

Most credit cards accepted, excluding escrow payments.

Please ensure that all copies of required documents are attached.

Marshall Andrews 05.12.2024

Applicant Signature Date

Shane Hudella 14 MAY 2024

Owner Signature Date

Marshall Andrews - Project Manager (HTG Architects)

SHANE HUDELLA, PRESIDENT

Applicant Name and Title – Please Print

Owner Name – Please Print

OFFICIAL USE ONLY

File # 24-24

Rec'd By: JHinem

Date Rec'd: 5/14/24

Fee Paid: PAID

Receipt # \_\_\_\_\_

App. Complete \_\_\_\_\_